

# CHAPTER 2.

# FORM DISTRICTS

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# DIVISION 2.1. GENERAL PROVISIONS

## Sec. 2.1.1. How to Use this Chapter

### A. Form District Pages

1. Each Form District is formatted on a set of pages, identifying the standards specific to each district. The pages are formatted as a set of graphics and tables, with lot standards on the first page and building standards on the second page.
2. The tables are organized into categories of district standards, with specific standards listed below each category. Each district standard category provides a linked reference to the Rules for Zoning Districts, where the standards within that category are explained in further detail.

### B. Rules for Zoning Districts

1. *Chapter 3. Rules for Zoning Districts* describes the standards for Form Districts, Overlay Districts, Legacy Districts, and Historic and Landmark Districts in detail. Each requirement includes a definition, intent statement, applicability, standards for meeting the requirement, rules for measurement, exceptions and relief, if any.
2. *Chapter 3. Rules for Zoning Districts* is generally organized in the same order as the tables in the Form District pages. *Chapter 3. Rules for Zoning Districts* includes definitions and standards for terminology primarily used in *Chapter 2. Form Districts*, *Chapter 5. Overlay Districts*, *Chapter 6. Historic and Landmark Districts*, and *Chapter 7. Legacy Districts*. Definitions and standards for terms used more broadly throughout the Zoning Ordinance are found in *Chapter 10. General Standards and Definitions*.

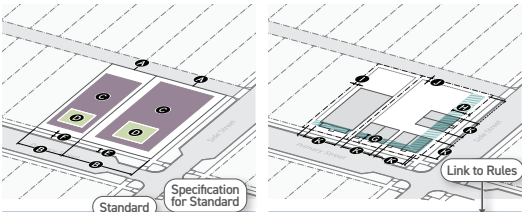
#### Form District Page

**Step 1: Find Your District Page**

CHAPTER 2. FORM DISTRICTS  
 NEIGHBORHOOD-SCALE DISTRICTS

SEC. 2.3.10. **NSA NEIGHBORHOOD 5A**

**A. Lot Standards**



**Standard Category**

<b>1. Lot Size</b>	Division 3.2
Ⓐ Lot area (min)	2,000 sf
Ⓑ Lot width (min)	25'
<b>2. Density</b>	Division 3.3
Dwelling units per lot (max)	6
<b>3. Coverage</b>	Division 3.4
Ⓒ Building coverage (max)	65%
Ⓓ Outdoor amenity space (min)	15%
<b>4. Streetscape</b>	Division 3.5
Ⓔ Amenity zone	Required
Ⓕ Pedestrian zone	Required

**Specification for Standard**

<b>5. Building Setbacks</b>	Division 3.6
Street setback (min)	
Ⓔ Primary street	Existing range or 10' / 25'
Ⓕ Side street	5' / 20'
Side setback (min)	
Ⓖ One side	3'
Cumulative	10'
Ⓗ Rear setback (min)	7'
<b>6. Build-To</b>	Division 3.8
Ⓖ Build-to width (min)	
Primary street	65%
Side street	40%
<b>7. Parking Location</b>	Division 3.9
No parking allowed between building and street	

**Label on Graphic**

**Step 2: Review Your District Standards**

**Link to Rules**

#### Rules for Zoning Districts

**Step 3: Learn More About Your Standards**

**DIVISION 3.1. LOT SIZE**

**Sec. 3.1.1. Lot Area**

*The total square footage within the boundaries of a lot.*

**A. Intent**

To ensure newly established lots are generally consistent with the desired development patterns in the neighborhood and other lots in the same zoning district.

**B. Applicability**

1. Lot area applies to lots approved and recorded on or after the effective date of the Zoning Ordinance.
2. Where sublots are permitted, lot area is calculated for each lot, not individual sublots.
3. For lots lawfully created and recorded before the effective date of the Zoning Ordinance, uses allowed in the Use District may be established regardless of the lot area, provided, that all other requirements of the Zoning Ordinance are met.

**C. Standards**

All lots created and recorded after the effective date of the Zoning Ordinance must have an area no less than the minimum lot area specified by the zoning district.

## Sec. 2.1.2. Applicability

### A. Form District Standards

1. Form District standards apply based on the types of project activities proposed, as shown in the table below. Typically, more than one project activity will apply to a proposed project (for example, an expansion of an existing use may include both an addition and a facade modification).

Form District Standards		Project Activity						
		New Construction	Addition	Site Modification	Facade Modification	Change of Use	Renovation	Maintenance and Repair
Lot Size	<i>Division 3.2</i>	○	○	○	○	○	○	○
Density	<i>Division 3.3</i>	●	●	○	○	●	●	○
Coverage	<i>Division 3.4</i>	●	●	●	○	○	○	○
Streetscapes	<i>Division 3.5</i>	●	●	●	○	○	○	○
Building Setbacks	<i>Division 3.6</i>	●	●	○	○	○	○	○
Build-To	<i>Division 3.8</i>	●	●	○	○	○	○	○
Transition	<i>Division 3.7</i>	●	●	●	○	●	○	○
Parking Location	<i>Division 3.9</i>	●	●	●	○	○	○	○
Massing	<i>Division 3.10</i>	●	●	○	○	○	○	○
Activation	<i>Division 3.11</i>	●	●	○	○	○	○	○
Ground Story	<i>Division 3.12</i>	●	●	○	○	○	○	○
Windows and Doors	<i>Division 3.13</i>	●	●	○	●	○	○	○
Fences and Walls	<i>Division 3.14</i>	●	●	●	○	●	○	○

KEY: ● = Standards generally apply ○ = Standards do not apply

2. Where a standard is listed as applying, and the Form District includes standards for that requirement, all applicable standards must be met. The applicable standards may be further modified by the applicability provisions in *Chapter 3. Rules for Zoning Districts*. For existing buildings and uses, applicability may also be modified by *Chapter 9. Nonconformities*.
3. Project activity is defined in *Chapter 10. General Standards and Definitions*.

### B. Relationship to Use Districts

Some Form Districts have standards that vary based on use. Whether or not a certain use is allowed is determined by Use District, not the Form District. If a use is allowed by the Use District, then the use must meet the standards in the Form District. For uses with additional standards listed in *Ch. 4. Uses*, the Use District supersedes any conflicting standard listed in the Form District.

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## DIVISION 2.2. **HOUSE-SCALE DISTRICTS**



*Intent images are illustrative only.*

### Sec. 2.2.1. Intent

House-Scale Form Districts are intended to accommodate the lowest-intensity areas with large lot sizes and low lot coverage, and are generally in areas with limited walkability to retail, service, and other commercial uses. CN1 and CN2 Form Districts are intended to require that new residential buildings match the existing development patterns of their surroundings. The Cluster (CL) Form District promotes density-neutral, environmentally-sensitive residential development that preserves open space and natural resources.

House-Scale Form Districts are typically paired with Use Districts that primarily allow household living uses and some civic uses.

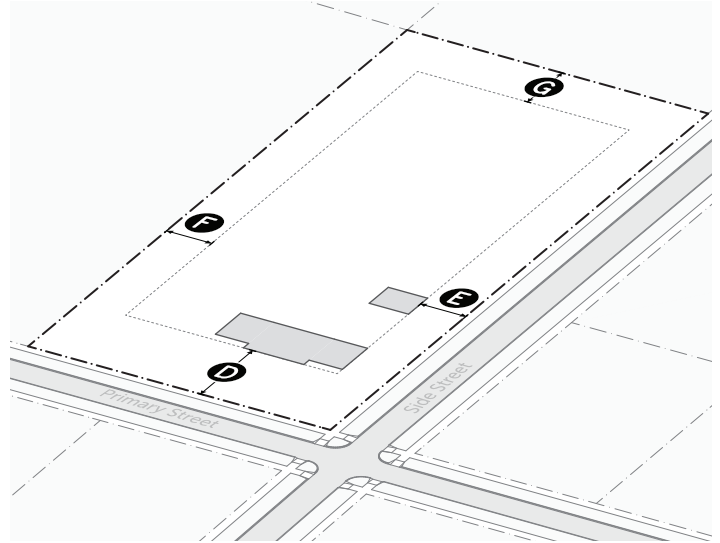
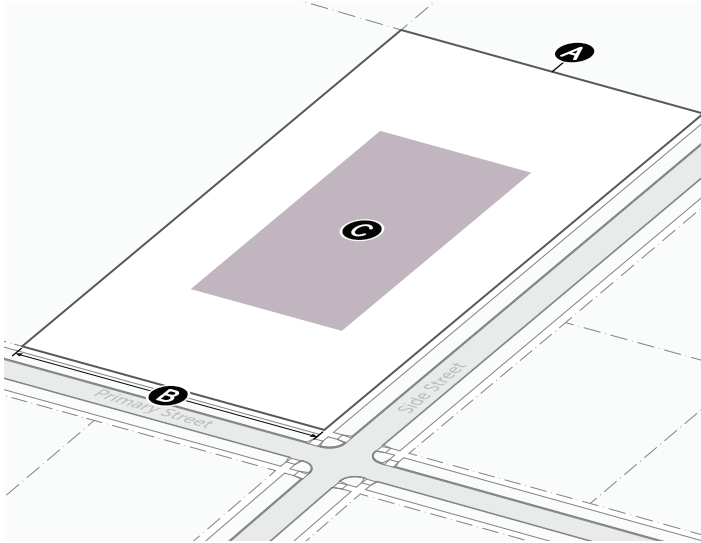
### Sec. 2.2.2. Summary of Districts

The following table includes a summary of some requirements for each House-Scale Form District. Detailed requirements are further described in this Division.

HOUSE-SCALE DISTRICTS					
District	Lot Area (min)	Lot Width (min)	Dwelling Units (max)	FAR (max, net lot area)	Height (max)
H1	2 acres	200'	1	0.25	3 stories / 35'
H2	1 acre	150'	1	0.30	3 stories / 35'
H3	30,000 sf	100'	1	0.35	3 stories / 35'
H4	28,000 sf	100'	1	0.40	3 stories / 35'
H5	18,000 sf	100'	1	0.40	3 stories / 35'
H6	13,500 sf	85'	1	0.45	3 stories / 35'
CN1	13,500 sf	85'	1	0.45	Match existing
CN2	9,000 sf	70'	1	0.50	Match existing
CL	See <i>Sec. XX. Cluster CL.</i>				

## SEC. 2.2.3. **H1** HOUSE 1

### A. Lot Standards

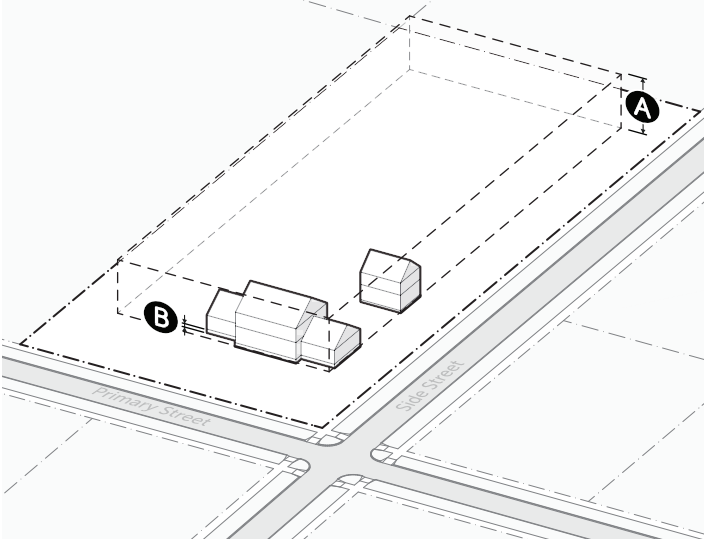


<b>1. Lot Size</b>	<i>Division 3.2</i>
<b>A</b> Lot area (min)	2 acres
<b>B</b> Lot width (min)	200'
<b>2. Density</b>	<i>Division 3.3</i>
Dwelling units per lot (max)	1
FAR (max, net lot area)	0.25
<b>3. Coverage</b>	<i>Division 3.4</i>
<b>C</b> Lot coverage (max)	25%
<b>4. Streetscape</b>	<i>Division 3.5</i>
Amenity zone	Not required
Pedestrian zone	Not required

<b>5. Building Setbacks</b>	<i>Division 3.6</i>
Street setback (min)	
<b>D</b> Primary street	Existing range or 60'
<b>E</b> Side street	30'
<b>F</b> Side setback (min)	30'
<b>G</b> Rear setback (min)	40'
<b>6. Parking Location</b>	<i>Division 3.9</i>
Primary street setback	Driveway only
Side street setback	Driveway only
Side / rear setback	Allowed

# H1 HOUSE 1

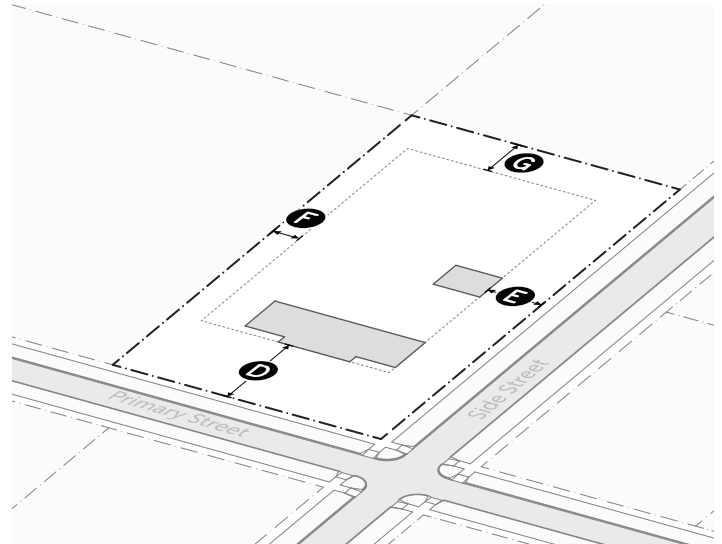
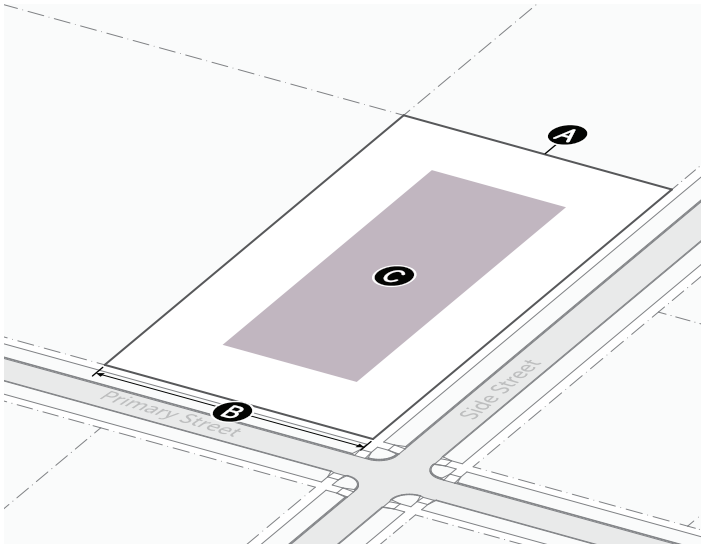
## B. Building Standards



<b>1. Massing</b>	<i>Division 3.10</i>
<b>A</b> Building height (max stories/feet)	
Primary structure	3 stories / 35'
Accessory structure	2 stories / 25'
<b>2. Ground Story</b>	<i>Division 3.12</i>
<b>B</b> Ground story elevation (min/max)	0' / 4'
<b>3. Fences and Walls</b>	<i>Division 3.14</i>
Primary street setback	Type A3
Side street setback	Type B1
Side / rear setback	Type C1

## SEC. 2.2.4. **H2** HOUSE 2

### A. Lot Standards

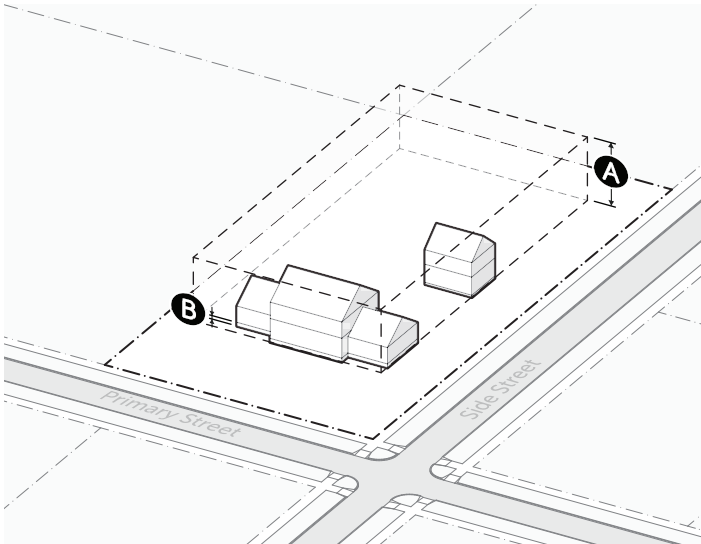


<b>1. Lot Size</b>	Sec. XX.XX.
<b>A</b> Lot area (min)	1 acre
<b>B</b> Lot width (min)	150'
<b>2. Density</b>	Sec. XX.XX.
Dwelling units per lot (max)	1
FAR (max, net lot area)	0.3
<b>3. Coverage</b>	Sec. XX.XX.
<b>C</b> Lot coverage (max)	35%
<b>4. Streetscape</b>	Sec. XX.XX.
Amenity zone	Not required
Pedestrian zone	Not required

<b>5. Building Setbacks</b>	Sec. XX.XX.
Street setback (min)	
<b>D</b> Primary street	Existing range or 60'
<b>E</b> Side street	30'
<b>F</b> Side setback (min)	15'
<b>G</b> Rear setback (min)	30'
<b>6. Parking Location</b>	Sec. XX.XX.
Primary street setback	Driveway only
Side street setback	Driveway only
Side / rear setback	Allowed

# H2 HOUSE 2

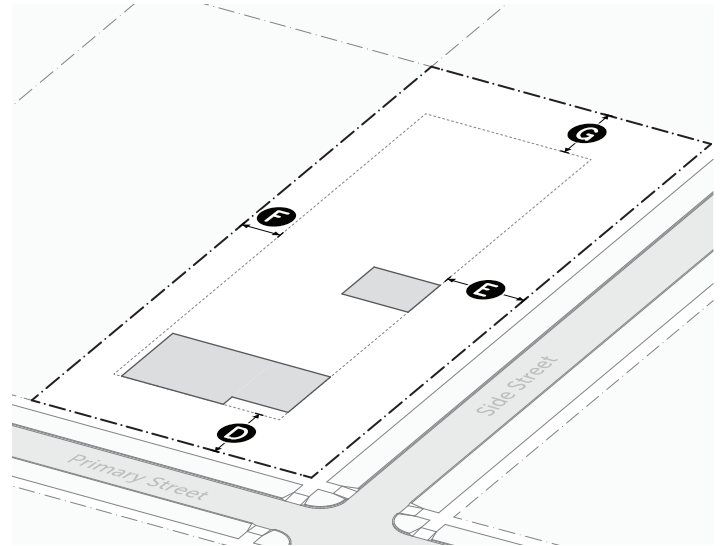
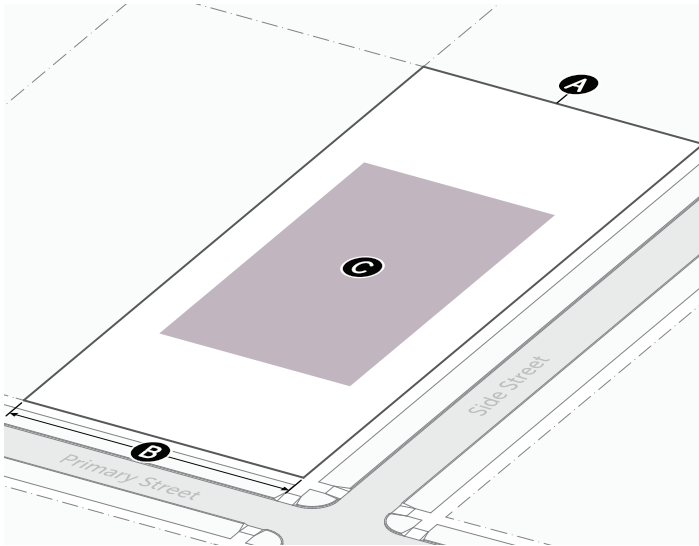
## B. Building Standards



<b>1. Massing</b>	<i>Sec. XX.XX.</i>
<b>A</b> Building height (max stories/feet)	
Primary structure	3 stories / 35'
Accessory structure	2 stories / 25'
<b>2. Ground Story</b>	<i>Sec. XX.XX.</i>
<b>B</b> Ground story elevation (min/max)	0' / 4'
<b>3. Fences and Walls</b>	<i>Sec. XX.XX.</i>
Primary street setback	Type A3
Side street setback	Type B1
Side / rear setback	Type C1

## SEC. 2.2.5. **H3** HOUSE 3

### A. Lot Standards

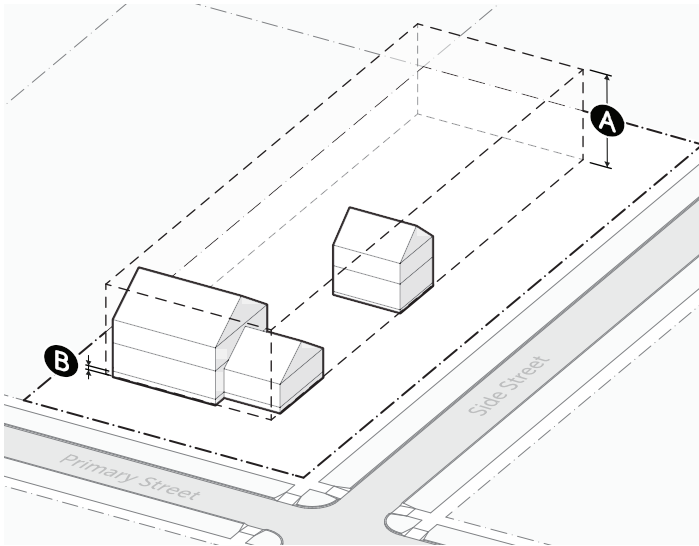


<b>1. Lot Size</b>	Sec. XX.XX.
<b>A</b> Lot area (min)	30,000 sf
<b>B</b> Lot width (min)	100'
<b>2. Density</b>	Sec. XX.XX.
Dwelling units per lot (max)	1
FAR (max, net lot area)	0.35
<b>3. Coverage</b>	Sec. XX.XX.
<b>C</b> Lot coverage (max)	35%
<b>4. Streetscape</b>	Sec. XX.XX.
Amenity zone	Not required
Pedestrian zone	Not required

<b>5. Building Setbacks</b>	Sec. XX.XX.
Street setback (min)	
<b>D</b> Primary street	Existing range or 60'
<b>E</b> Side street	30'
<b>F</b> Side setback (min)	15'
<b>G</b> Rear setback (min)	30'
<b>6. Parking Location</b>	Sec. XX.XX.
Primary street setback	Driveway only
Side street setback	Driveway only
Side / rear setback	Allowed

# H3 HOUSE 3

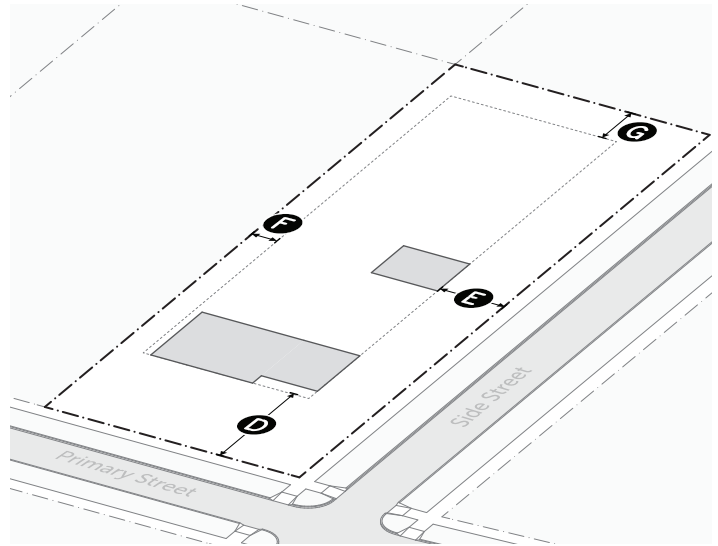
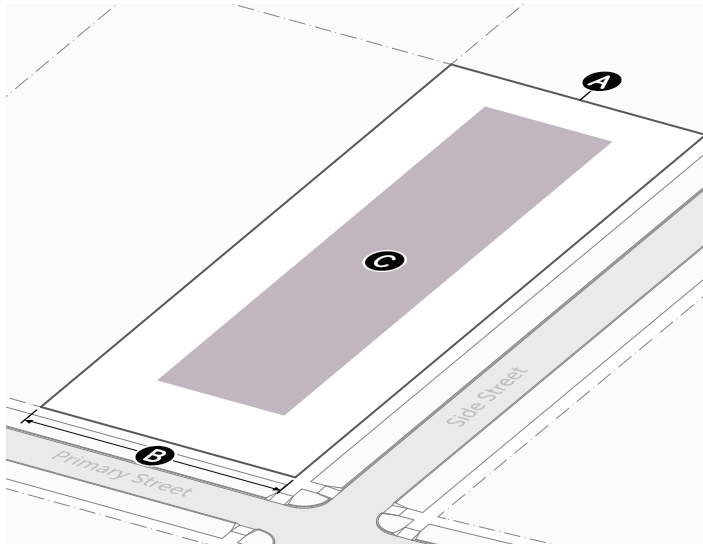
## B. Building Standards



<b>1. Massing</b>	<i>Sec. XX.XX.</i>
<b>A</b> Building height (max stories/feet)	
Primary structure	3 stories / 35'
Accessory structure	2 stories / 25'
<b>2. Ground Story</b>	<i>Sec. XX.XX.</i>
<b>B</b> Ground story elevation (min/max)	0' / 4'
<b>3. Fences and Walls</b>	<i>Sec. XX.XX.</i>
Primary street setback	Type A3
Side street setback	Type B1
Side / rear setback	Type C1

## SEC. 2.2.6. **H4** HOUSE 4

### A. Lot Standards

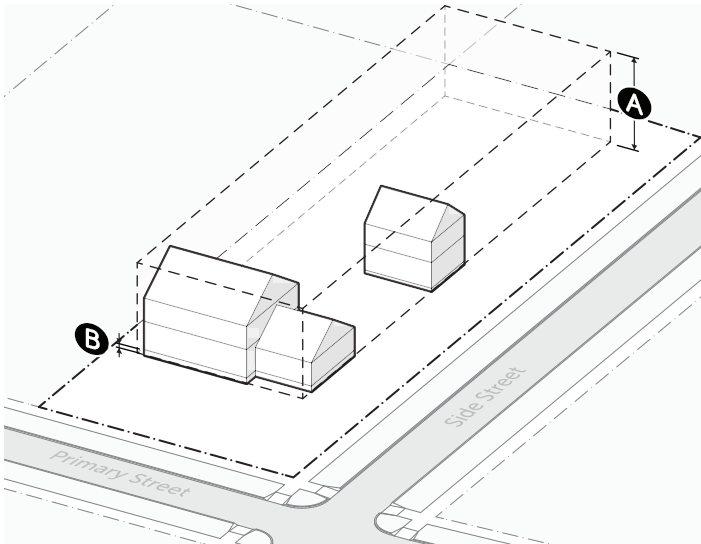


<b>1. Lot Size</b>	Sec. XX.XX.
<b>A</b> Lot area (min)	28,000 sf
<b>B</b> Lot width (min)	100'
<b>2. Density</b>	Sec. XX.XX.
Dwelling units per lot (max)	1
FAR (max, net lot area)	0.4
<b>3. Coverage</b>	Sec. XX.XX.
<b>C</b> Lot coverage (max)	40%
<b>4. Streetscape</b>	Sec. XX.XX.
Amenity zone	Not required
Pedestrian zone	Not required

<b>5. Building Setbacks</b>	Sec. XX.XX.
Street setback (min)	
<b>D</b> Primary street	Existing range or 50'
<b>E</b> Side street	25'
<b>F</b> Side setback (min)	10'
<b>G</b> Rear setback (min)	20'
<b>6. Parking Location</b>	Sec. XX.XX.
Primary street setback	Driveway only
Side street setback	Driveway only
Side / rear setback	Allowed

# H4 HOUSE 4

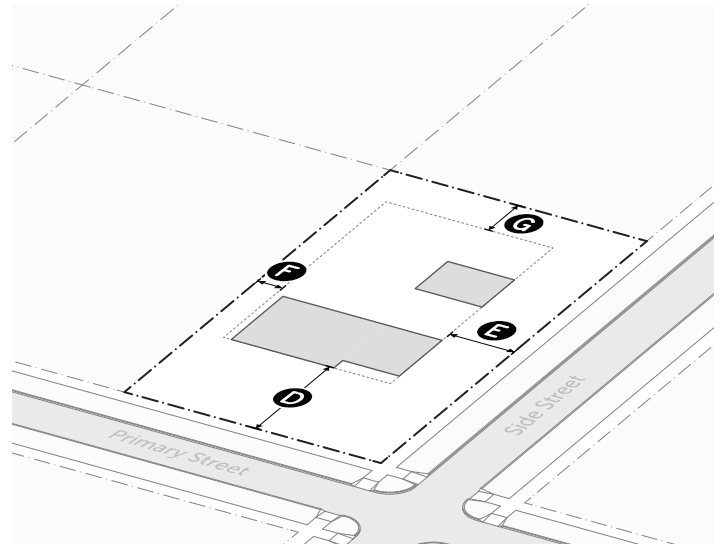
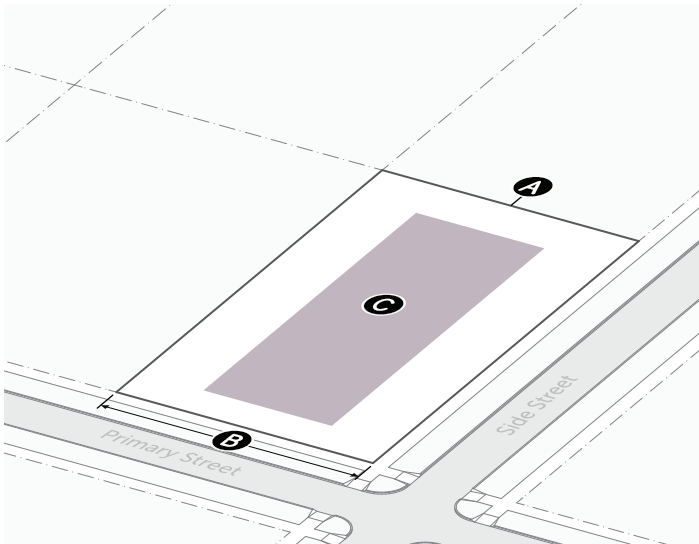
## B. Building Standards



<b>1. Massing</b>	<i>Sec. XX.XX.</i>
<b>A</b> Building height (max stories/feet)	
Primary structure	3 stories / 35'
Accessory structure	2 stories / 25'
<b>2. Ground Story</b>	<i>Sec. XX.XX.</i>
<b>B</b> Ground story elevation (min/max)	0' / 4'
<b>3. Fences and Walls</b>	<i>Sec. XX.XX.</i>
Primary street setback	Type A3
Side street setback	Type B1
Side / rear setback	Type C1

## SEC. 2.2.7. **H5** HOUSE 5

### A. Lot Standards

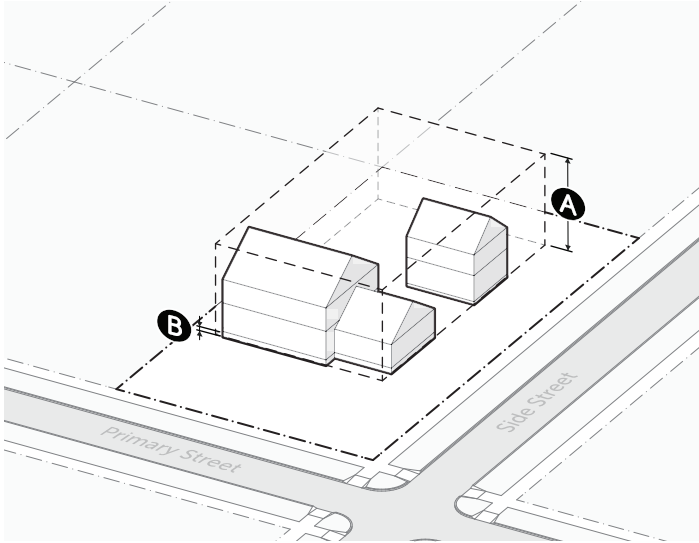


<b>1. Lot Size</b>	Sec. XX.XX.
<b>A</b> Lot area (min)	18,000 sf
<b>B</b> Lot width (min)	100'
<b>2. Density</b>	Sec. XX.XX.
Dwelling units per lot (max)	1
FAR (max, net lot area)	0.4
<b>3. Coverage</b>	Sec. XX.XX.
<b>C</b> Lot coverage (max)	40%
<b>4. Streetscape</b>	Sec. XX.XX.
Amenity zone	Not required
Pedestrian zone	Not required

<b>5. Building Setbacks</b>	Sec. XX.XX.
Street setback (min)	
<b>D</b> Primary street	Existing range or 50'
<b>E</b> Side street	25'
<b>F</b> Side setback (min)	10'
<b>G</b> Rear setback (min)	20'
<b>6. Parking Location</b>	Sec. XX.XX.
Primary street setback	Driveway only
Side street setback	Driveway only
Side / rear setback	Allowed

# H5 HOUSE 5

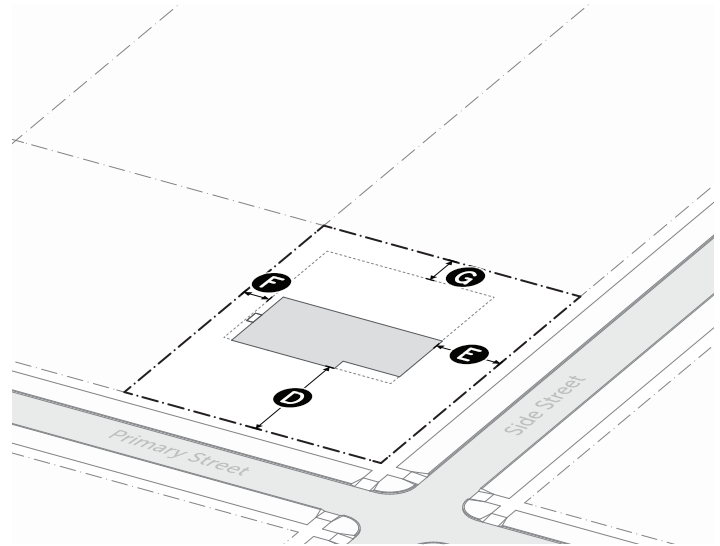
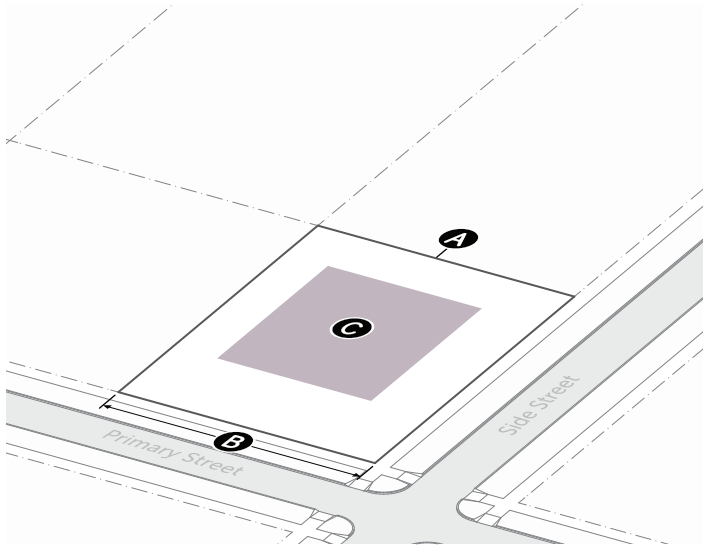
## B. Building Standards



<b>1. Massing</b>	Sec. XX.XX.
<b>A</b> Building height (max stories/feet)	
Primary structure	3 stories / 35'
Accessory structure	2 stories / 25'
<b>2. Ground Story</b>	Sec. XX.XX.
<b>B</b> Ground story elevation (min/max)	0' / 4'
<b>3. Fences and Walls</b>	Sec. XX.XX.
Primary street setback	Type A3
Side street setback	Type B1
Side / rear setback	Type C1

## SEC. 2.2.8. **H6** HOUSE 6

### A. Lot Standards

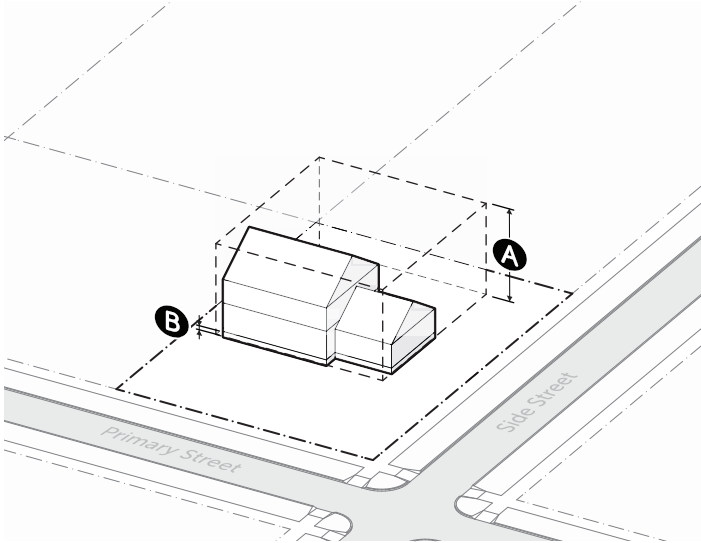


<b>1. Lot Size</b>	Sec. XX.XX.
<b>A</b> Lot area (min)	13,500 sf
<b>B</b> Lot width (min)	85'
<b>2. Density</b>	Sec. XX.XX.
Dwelling units per lot (max)	1
FAR (max, net lot area)	0.45
<b>3. Coverage</b>	Sec. XX.XX.
<b>C</b> Lot coverage (max)	45%
<b>4. Streetscape</b>	Sec. XX.XX.
Amenity zone	Not required
Pedestrian zone	Not required

<b>5. Building Setbacks</b>	Sec. XX.XX.
Street setback (min)	
<b>D</b> Primary street	Existing range or 50'
<b>E</b> Side street	25'
<b>F</b> Side setback (min)	10'
<b>G</b> Rear setback (min)	15'
<b>6. Parking Location</b>	Sec. XX.XX.
Primary street setback	Driveway only
Side street setback	Driveway only
Side / rear setback	Allowed

# H6 HOUSE 6

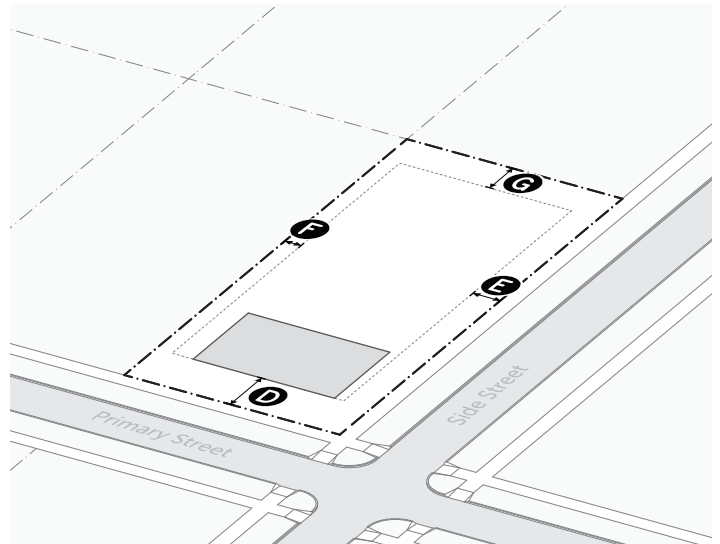
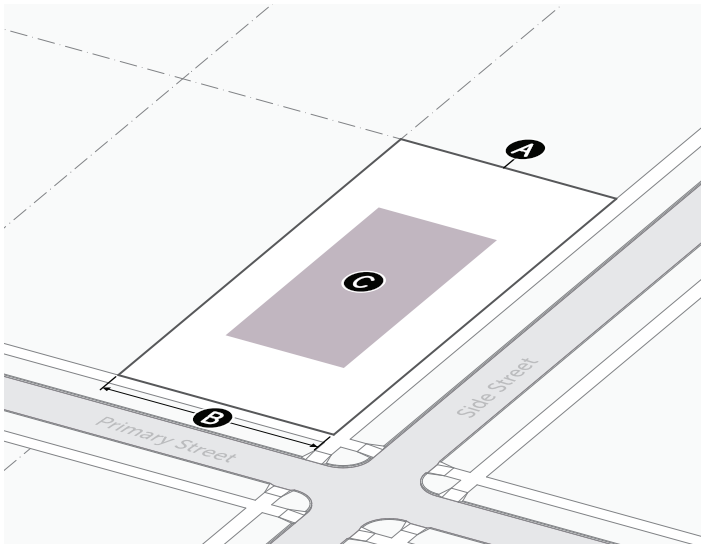
## B. Building Standards



<b>1. Massing</b>	Sec. XX.XX.
<b>A</b> Building height (max stories/feet)	
Primary structure	3 stories / 35'
Accessory structure	2 stories / 25'
<b>2. Ground Story</b>	Sec. XX.XX.
<b>B</b> Ground story elevation (min/max)	0' / 4'
<b>3. Fences and Walls</b>	Sec. XX.XX.
Primary street setback	Type A3
Side street setback	Type B1
Side / rear setback	Type C1

## SEC. 2.2.9. **CN1** CONSERVATION 1

### A. Lot Standards

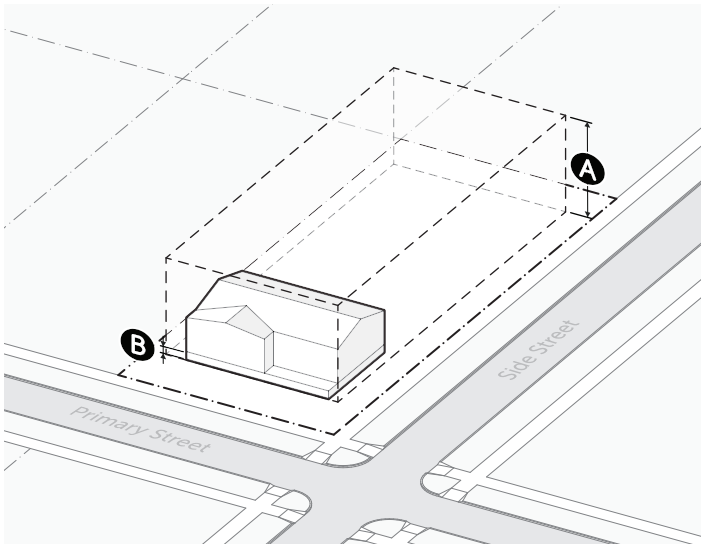


<b>1. Lot Size</b>	Sec. XX.XX.
<b>A</b> Lot area (min)	13,500 sf
<b>B</b> Lot width (min)	85'
<b>2. Density</b>	Sec. XX.XX.
Dwelling units per lot (max)	1
FAR (max, net lot area)	0.45
<b>3. Coverage</b>	Sec. XX.XX.
<b>C</b> Lot coverage (max)	45%
<b>4. Streetscape</b>	Sec. XX.XX.
Amenity zone	Not required
Pedestrian zone	Not required

<b>5. Building Setbacks</b>	Sec. XX.XX.
Street setback (min)	
<b>D</b> Primary street	Existing range
<b>E</b> Side street	25'
<b>F</b> Side setback (min)	10'
<b>G</b> Rear setback (min)	15'
<b>6. Parking Location</b>	Sec. XX.XX.
Primary street setback	Driveway only
Side street setback	Driveway only
Side / rear setback	Allowed

# CN1 CONSERVATION 1

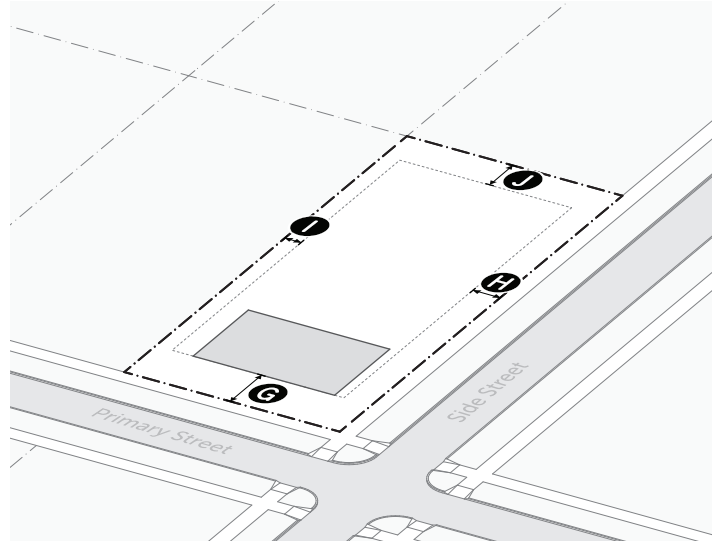
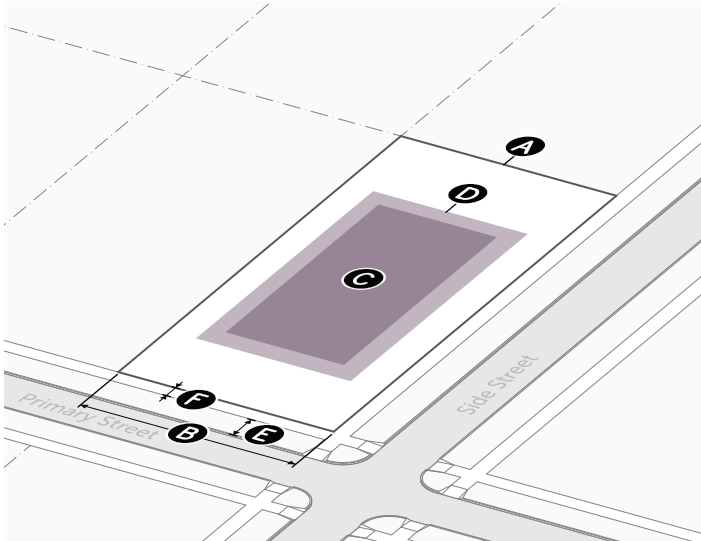
## B. Building Standards



<b>1. Massing</b>	<i>Sec. XX.XX.</i>
<b>A</b> Building height (max stories/feet)	
Primary structure	Match existing
Accessory structure	2 stories / 25'
<b>2. Ground Story</b>	<i>Sec. XX.XX.</i>
<b>B</b> Ground story elevation (min/max)	0' / 4'
<b>3. Fences and Walls</b>	<i>Sec. XX.XX.</i>
Primary street setback	Type A3
Side street setback	Type B1
Side / rear setback	Type C1

## SEC. 2.2.10. **CN2** CONSERVATION 2

### A. Lot Standards

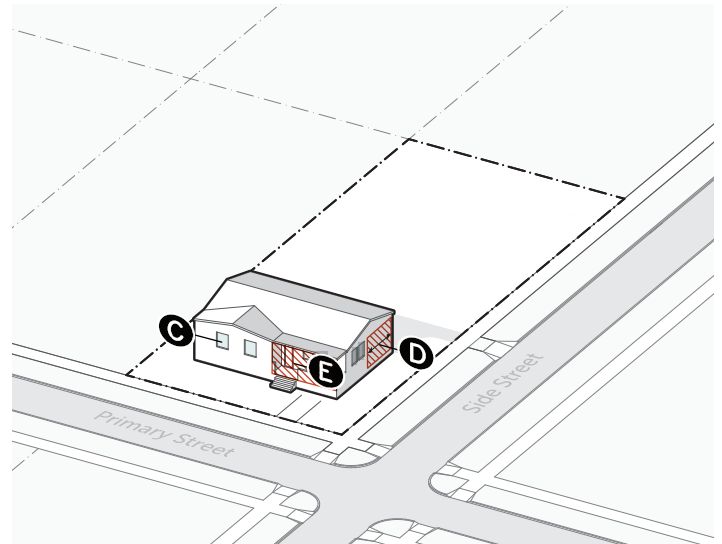
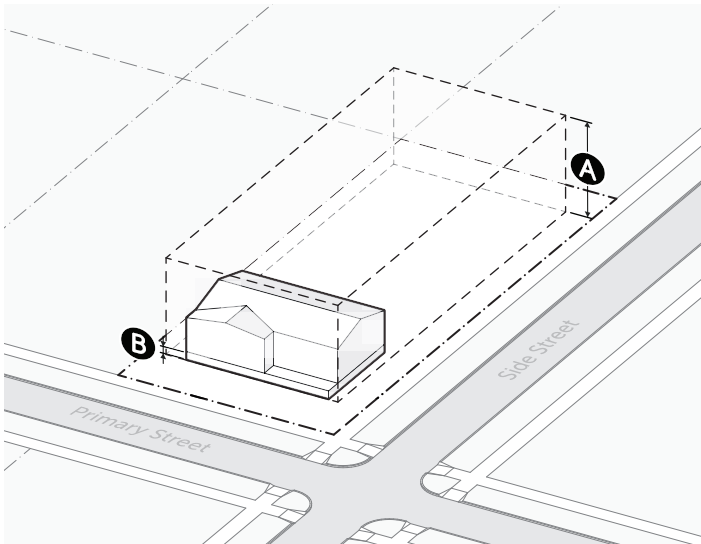


<b>1. Lot Size</b>	Sec. XX.XX.
Ⓐ Lot area (min)	9,000 sf
Ⓑ Lot width (min)	70'
<b>2. Density</b>	Sec. XX.XX.
Dwelling units per lot (max)	1
FAR (max, net lot area)	0.5
<b>3. Coverage</b>	Sec. XX.XX.
Ⓒ Building coverage (max)	40%
Ⓓ Lot coverage (max)	50%
<b>4. Streetscape</b>	Sec. XX.XX.
Ⓔ Amenity zone	Required
Ⓕ Pedestrian zone	Required

<b>5. Building Setbacks</b>	Sec. XX.XX.
Street setback (min)	
Ⓖ Primary street	Existing range
Ⓗ Side street	15'
Side setback (min)	
Ⓘ One side	4'
Cumulative	14'
⓰ Rear setback (min)	
Primary structure	15'
Accessory structure	10'
<b>6. Parking Location</b>	Sec. XX.XX.
Front yard	Driveway only
Side street yard	Driveway only
Side / rear yard	Allowed

# CN2 CONSERVATION 2

## B. Building Standards



1. Massing	Sec. XX.XX.
<b>A</b> Building height (max stories/feet)	
Primary structure	Match existing
Accessory structure	2 stories / 25'
2. Ground Story	Sec. XX.XX.
<b>B</b> Ground story elevation (min/max)	0' / 4'

3. Windows and Doors	Sec. XX.XX.
<b>C</b> Ground story glazing (min)	
Primary street	20%
Side street	15%
Upper story glazing (min)	10%
<b>D</b> Blank wall width (max)	20'
<b>E</b> Street-facing entry	Required
4. Fences and Walls	Sec. XX.XX.
Front yard	Type A3
Side street yard	Type B1
Side / rear yard	Type C1

## SEC. 2.2.11. **CL** CLUSTER

### A. Intent

The following regulations and requirements apply to the Cluster (CL) district, defined as a residential form district primarily intended to:

1. Provide a density-neutral residential district that allows flexible design to promote environmentally sensitive and efficient land use and ensures the permanent preservation of open space;
2. Enhance land, water, air, and tree resources by minimizing land disturbance; reducing impervious surfaces, soil erosion, and stormwater runoff; optimizing stream buffers; preserving tree cover; and encouraging open space protection;
3. Preserve in perpetuity archaeological or historic sites, scenic views, and sensitive natural resources such as floodplains, wetlands, streams, steep slopes, woodlands, and wildlife habitat;
4. Maintain overall dwelling counts in a density-neutral manner and provide a process that allows all interested parties to verify compliance with this Ordinance and related regulations;
5. Encourage development on the least environmentally-sensitive soils and reduce the amount of public infrastructure and associated costs borne by the City;
6. Encourage community interaction and reduce impervious surfaces by clustering dwellings, orienting them toward the street, providing public gathering places, and promoting the use of parks and community facilities as neighborhood focal points;
7. Promote interconnected open spaces that provide pedestrian linkages, recreational opportunities, and wildlife corridors throughout the city and to adjacent jurisdictions; and

### B. Applicability

Sites in a House-Scale Form District meeting the standards herein are eligible to apply for rezoning to CL in accordance with *Sec. 9.2. Legislative Review*.

### C. Standards

#### 1. Density Calculations and Parcel Eligibility

Cluster (CL) districts may only be established in any House-Scale Form District, with appropriate densities based on the existing zoning as provided in this Section. Only sites served by public sanitary sewer are eligible for rezoning to a CL district.

- a. **Maximum number of lots.** The maximum number of lots allowed in a CL district must be determined based on a conventional subdivision design plan under the existing form district of the parcel at the time of application, as provided in *Sec. 2.2.11.C.3. Application*.
- b. **Minimum Parcel Size.** Only sites with a minimum of 2 acres are eligible for consideration for Rezoning to a CL district.
- c. **Environmental Criteria.** Only sites with one or more of the following distinctive environmental features are eligible for consideration for a housing cluster subdivision zoning:

- i. Slopes of a 2:1 ratio (2 horizontal to 1 vertical) or steeper covering 5,000 square feet or more;
- ii. Streams and other surface waters and their applicable buffer zones;
- iii. Wetlands and their applicable buffer zones as defined by U.S. Army Corps of Engineers regulations pursuant to the Clean Water Act;
- iv. 100-year floodplains;
- v. Populations of endangered or threatened species, as designated under the Endangered Species Act, or habitat for such species;
- vi. Archaeological or historic sites that remain primarily in an undeveloped state;
- vii. Cemeteries, including abandoned cemeteries;
- viii. Existing healthy, native forests within a contiguous area of at least 1 acre;
- ix. Significant natural features and scenic viewsheds such as ridge lines, peaks, and rock outcroppings, particularly those visible from public roads; or
- x. Properties located adjacent to existing trails, public parks, or open space that provide access and improve connectivity to such areas.

## 2. Site Planning

Site planning must protect the development from negative impacts outside the site and prevent the development from creating negative impacts on nearby properties.

- a. **Primary vehicle access points.** Primary vehicle access points must be designed to encourage smooth traffic flow with controlled turning movements and minimal hazards to vehicular or pedestrian traffic. Merging and turnout lanes, traffic dividers, or additional street width are required where existing or anticipated heavy traffic flows indicate a need. In general, secondary streets must not connect to streets outside CL districts in a manner that encourages substantial through traffic on such minor streets.
- b. **Pedestrian and cyclist access.** Access for pedestrians and cyclists entering or leaving the CL district must be provided by safe and convenient routes, which need not be adjacent to or limited to vehicle access points. Where pedestrian zones cross vehicular routes at the edges of the development, such crossings must be safely marked and controlled. Where pedestrian zones or bicycle paths are exposed to substantial vehicular traffic at the district edges, safeguards may be required to prevent crossing except at designated points.
- c. **Visibility protection for vehicular traffic, cyclists, and pedestrians.** Visibility protection must be provided as set forth in *Sec. XX. Visibility Clearance at Intersections*, of the City of Atlanta Zoning Ordinance. Additionally, where pedestrian or bicycle access from within the development connects to a street at its edges through paths, yards, or open spaces without a barrier, no impediment to visibility, consistent with *Sec. XX. Visibility Clearance at Intersections*, must be created or maintained within the appropriate visibility triangle.
- d. **Fences, walls, or vegetative screening at edges of CL Districts.** Fences, walls, or landscape screening may be provided where needed to protect residents from undesirable views,

lighting, noise, or other off-site negative impacts, or to protect adjoining residential districts from similar negative impacts originating within the CL district. Extensive off-street parking areas and areas for refuse and garbage storage or collection must be screened.

- e. **Streets, driveways, and parking.** Streets, driveways, and parking areas must provide safe and convenient access to dwelling units for service and emergency vehicles. Streets must not occupy more land than necessary to provide required access. Interior streets, whether privately maintained or dedicated for public use, must be configured and constructed as required by the City of Atlanta Fire Marshal or the Department of Transportation. No interior streets may be dedicated to the City unless they meet all standards and approvals required by the Department of Transportation.
- f. **Internal relationships and site planning.** The site plan must provide for safe, efficient, convenient, and harmonious groupings of structures; preserve desirable natural features; and minimize disturbance to natural topography.
- g. **Pedestrian zones and bicycle paths.** Pedestrian zones must form a logical, safe, and convenient system of pedestrian access to all dwelling units, project facilities, and principal off-site pedestrian destinations. Pedestrian zones serving substantial numbers of children or connecting to schools or similar destinations must be located and safeguarded to minimize contact with normal vehicular traffic. If substantial bicycle traffic is anticipated, bicycle paths must be coordinated with the pedestrian system. Street crossings must be minimized, located for safety, and appropriately marked and safeguarded.
- h. **Water, sanitary sewer, and stormwater utilities.** All water, sanitary sewer, and stormwater utilities, whether privately maintained or publicly dedicated, must be configured and constructed as required by the Department of Watershed Management. No such utilities may be dedicated to the City unless they meet all standards and approvals of the Department of Watershed Management.
- i. **Infrastructure.** Before issuance of any building permit, all public and private infrastructure shown on approved site plans must be installed.

### 3. Application

All applicants seeking a Rezoning to the Cluster (CL) Form District must submit an Existing Conditions Site Plan, a Conventional Subdivision Site Plan, and a Housing Cluster Subdivision Site Plan, as defined in this Ordinance, for review and approval with the Rezoning application.

- a. All applicants must hold a pre-application meeting with representatives from the Department of City Planning, the Department of Watershed Management, and the Department of Transportation. Applicants must present a general location map, which may include an aerial photograph or similar depiction, for the purpose of reviewing procedures, requirements, and the preliminary eligibility and feasibility of the site for a cluster subdivision. This pre-application conference may occur in the same manner as provided in *Sec. 9.2. Legislative Review* of this Ordinance.
- b. **Existing Conditions Site Plan.** At the time of application for Rezoning to a CL district, the applicant must submit an Existing Conditions Site Plan, sealed by an engineer or landscape architect registered in the State of Georgia, identifying the following site features and information based on a survey prepared by a Georgia-licensed surveyor:

- i. Property boundaries;
  - ii. Topographic contours at intervals no greater than two feet;
  - iii. Streams, lakes, rivers, waters of the State, 100-year floodplains, applicable buffers, and wetlands, including source information;
  - iv. Identification of tree lines, natural woodlands, open fields or meadows, and peaks or rock outcroppings;
  - v. Identification of scenic vistas, historic or archaeological sites, wildlife habitats, or other significant environmental features;
  - vi. Identification of steep slope areas, defined as slopes with a 2:1 horizontal-to-vertical ratio or steeper;
  - vii. Identification of open space, trails, or public parks adjacent to the property subject to the Rezoning application;
  - viii. Identification of threatened or endangered plant species, as listed by the Georgia Department of Natural Resources;
  - ix. General soil types and vegetation characteristics;
  - x. Existing roads, buildings, structures, and utility easements; and
  - xi. Identification of the locations of populations of endangered or threatened species, as designated under the Endangered Species Act, and the habitats for such species.
- c. **Conventional Subdivision Site Plan.** Using the inventory outlined in the Existing Conditions Site Plan, the applicant must submit a layout of lots and street configuration for a conventional subdivision allowed under the existing zoning of the parcel at the time of application. This layout must demonstrate the total number of feasibly buildable lots permitted on the parcel under the existing H- zoning requirements. This total must constitute the maximum number of lots allowed for CL zoning, as required by *Sec. 2.2.11.C.1. Density Calculations* and Parcel Eligibility. The plan does not need to meet all formal requirements for a conventional subdivision site design plan; however, the design must be capable of being constructed based on site features and all applicable zoning regulations.
- d. **Housing Cluster Subdivision Site Plan.** Using the inventory outlined in the Existing Conditions Site Plan, and applying any housing cluster subdivision design standards specified by the Department of City Planning, the applicant must submit a conservation subdivision concept plan that includes the following information at a scale of no less than one inch equals 50 feet:
- i. Open space, indicating which areas are to be permanently protected;
  - ii. Boundaries of areas to be developed, and the proposed street and lot layout;
  - iii. The number of lots proposed and an explanation of how this number was calculated, in accordance with *Sec. 2.2.11.C.1. Density Calculations* and *Parcel Eligibility*;
  - iv. Proposed locations of water supply, sewer lines, stormwater management facilities, and other above-ground or below-ground utilities located on the parcel subject to the

application, including a designation of whether such facilities are intended for private ownership and maintenance or public dedication and use;

- v. Preliminary development envelopes showing all impervious surfaces, including but not limited to paved areas, trails, buildings, grading, and lawns, if applicable;
- vi. Proposed methods for ownership, maintenance, and permanent protection of the open space;
- vii. The type open space as described in *Sec. 3.4.2. Outdoor Amenity Space*;
- viii. Designation of any connections between the proposed open space and existing open space, trails, and public parks located within 1,000 feet of the property line of the property subject to the Rezoning application;
- ix. Potential connections with existing open space and trails;
- x. Planned open space; and
- xi. Proposed street and lot layout.

Amendments to an approved site plan for a CL district must follow the procedures and requirements set forth in Chapter 9. Administration of this Ordinance.

- e. **Other Requirements.** Unless this Ordinance specifically states otherwise, all CL districts must comply with all other applicable laws, including but not limited to the City of Atlanta Tree Protection Ordinance and the City of Atlanta Stream Buffer Ordinance.

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## DIVISION 2.3. NEIGHBORHOOD-SCALE DISTRICTS



*Intent images are illustrative only.*

### Sec. 2.3.1. Intent

Neighborhood-Scale Form Districts are intended to accommodate lower intensity neighborhood areas with small to medium lot sizes and moderate lot coverage, and are generally within walking distance of neighborhood-serving retail, service, and other commercial uses. The number of dwelling units allowed on each lot varies by Form District.

Neighborhood-Scale Form Districts are typically paired with Use Districts that primarily allow household living uses and some civic uses. However, some Neighborhood-Scale Form Districts are paired with Use Districts that allow neighborhood-serving commercial uses that are limited in size and extent.

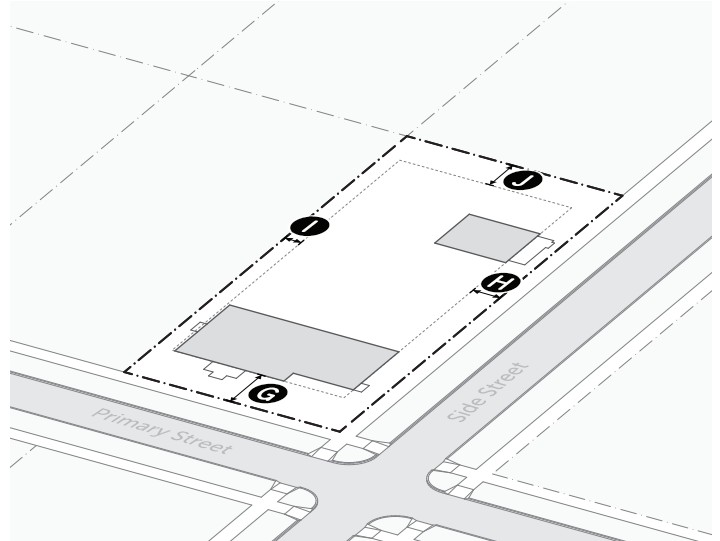
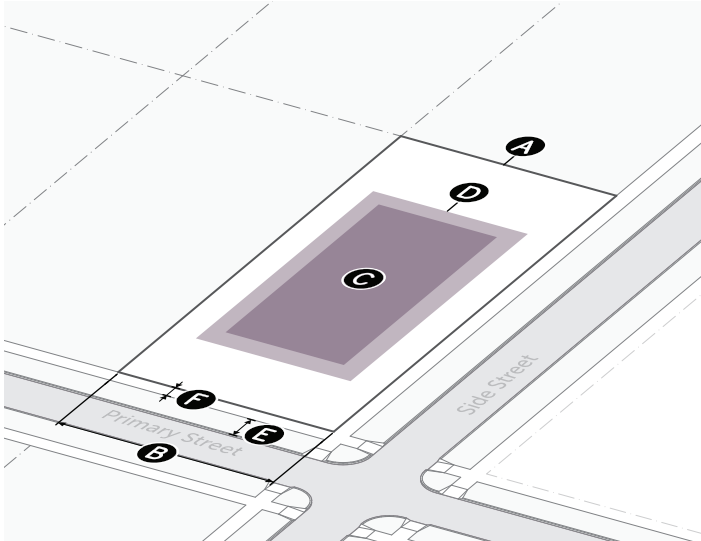
### Sec. 2.3.2. Summary of Districts

The following table includes a summary of some requirements for each Neighborhood-Scale Form District. Detailed requirements are further described in this Division.

NEIGHBORHOOD-SCALE DISTRICTS					
District	Lot Area (min)	Lot Width (min)	Dwelling Units (max)	FAR (max, net lot area)	Height (max)
N1	9,000 sf	70'	1	0.50	2.5 stories / 35'
N2A	7,500 sf	50'	1	0.55	2.5 stories / 35'
N2B	7,500 sf	50'	2	0.60	2.5 stories / 35'
N3A	5,000 sf	40'	1	0.60	2.5 stories / 35'
N3B	5,000 sf	40'	2	0.65	2.5 stories / 35'
N4A	2,800 sf	40'	1	0.65	2.5 stories / 35'
N4B	2,800 sf	40'	2	0.70	2.5 stories / 35'
N5A	2,000 sf	25'	6	None	2.5 stories / 35'
N5B	2,000 sf	25'	12	None	3 stories / 35'
N6A	2,000 sf	20'	Unlimited	1.0	3 stories / 40'
N6B	2,000 sf	20'	Unlimited	1.75	4 stories / 50'

## SEC. 2.3.3. **N1** NEIGHBORHOOD 1

### A. Lot Standards

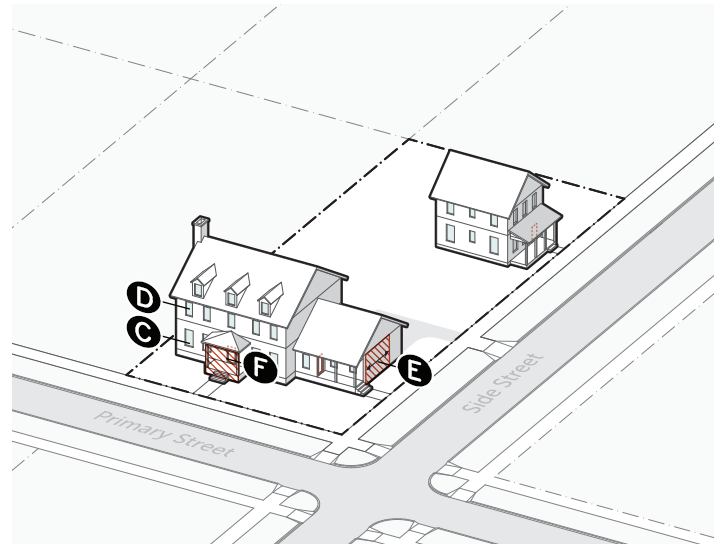
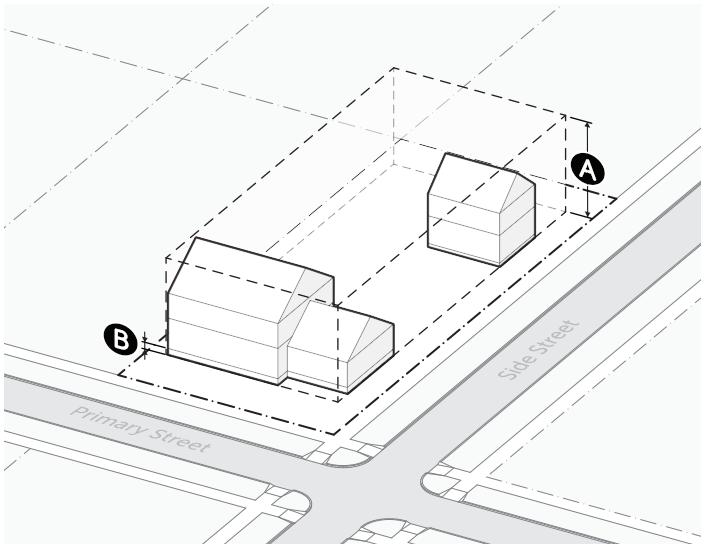


<b>1. Lot Size</b>	<i>Division 3.2</i>
<b>A</b> Lot area (min)	9,000 sf
<b>B</b> Lot width (min)	70'
<b>2. Density</b>	<i>Division 3.3</i>
Dwelling units per lot (max)	1
FAR (max, net lot area)	0.5
<b>3. Coverage</b>	<i>Division 3.4</i>
<b>C</b> Building coverage (max)	40%
<b>D</b> Lot coverage (max)	50%
<b>4. Streetscape</b>	<i>Division 3.5</i>
<b>E</b> Amenity zone	Required
<b>F</b> Pedestrian zone	Required

<b>5. Building Setbacks</b>	<i>Division 3.6</i>
Street setback (min)	
<b>G</b> Primary street	Existing range or 35'
<b>H</b> Side street	15'
Side setback (min)	
<b>I</b> One side	4'
Cumulative	14'
<b>J</b> Rear setback (min)	
Primary structure	15'
Accessory structure	10'
<b>6. Parking Location</b>	<i>Division 3.9</i>
Front yard	Driveway only
Side street yard	Driveway only
Side / rear yard	Allowed

# N1 NEIGHBORHOOD 1

## B. Building Standards

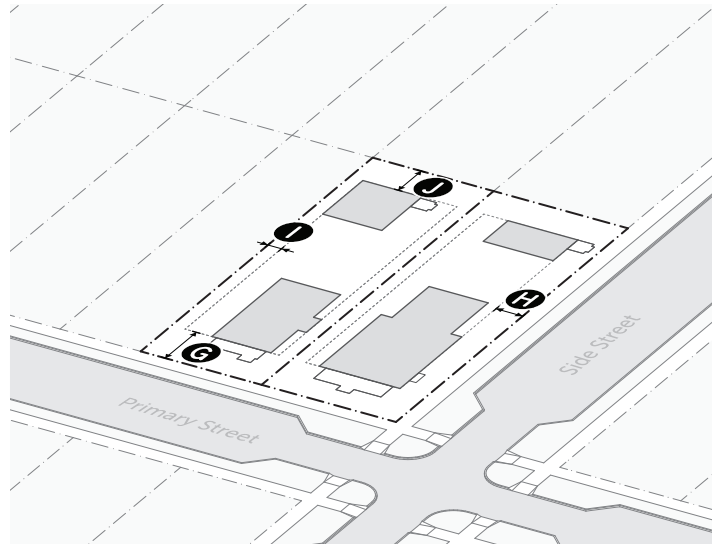
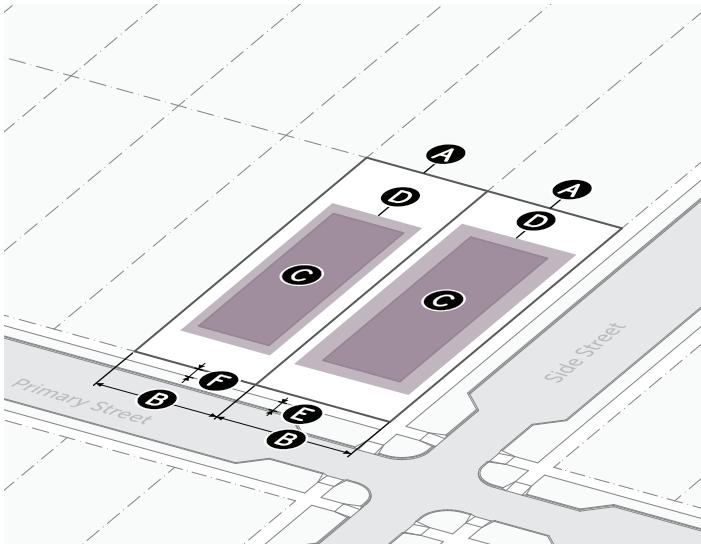


<b>1. Massing</b>	<i>Division 3.10</i>
<b>A</b> Building height (max stories/feet)	
Primary structure	2.5 stories / 35'
Accessory structure	2 stories / 25'
<b>2. Ground Story</b>	<i>Division 3.12</i>
<b>B</b> Ground story elevation (min/max)	0' / 4'

<b>3. Windows and Doors</b>	<i>Division 3.13</i>
<b>C</b> Ground story glazing (min)	
Primary street	20%
Side street	15%
<b>D</b> Upper story glazing (min)	10%
<b>E</b> Blank wall width (max)	20'
<b>F</b> Street-facing entry	Required
<b>4. Fences and Walls</b>	<i>Division 3.14</i>
Front yard	Type A3
Side street yard	Type B1
Side / rear yard	Type C1

## SEC. 2.3.4. **N2A** NEIGHBORHOOD 2A

### A. Lot Standards

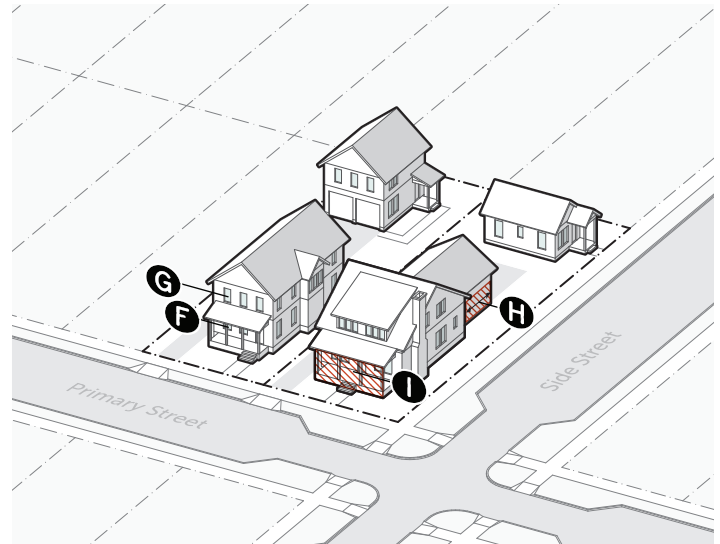
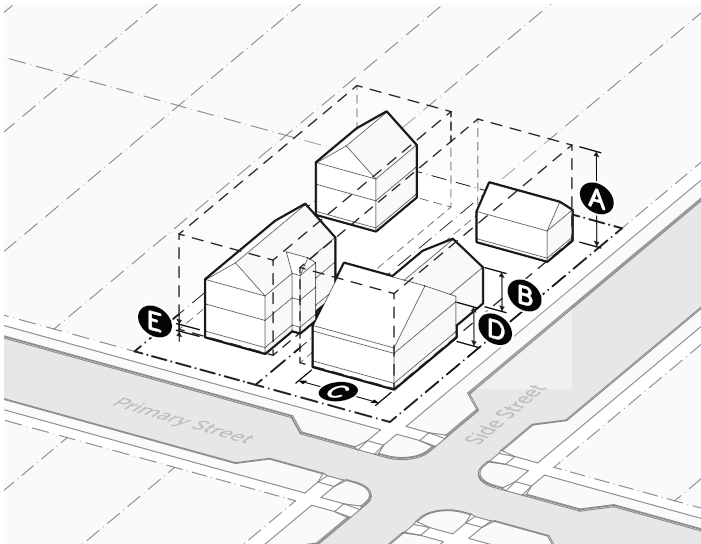


<b>1. Lot Size</b>	<i>Division 3.2.</i>
<b>A</b> Lot area (min)	7,500 sf
<b>B</b> Lot width (min)	
Front vehicle access	50'
Side or rear vehicle access	35'
<b>2. Density</b>	<i>Division 3.3</i>
Dwelling units per lot (max)	1
FAR (max, net lot area)	0.55
<b>3. Coverage</b>	<i>Division 3.4</i>
<b>C</b> Building coverage (max)	45%
<b>D</b> Lot coverage (max)	55%
<b>4. Streetscape</b>	<i>Division 3.5</i>
<b>E</b> Amenity zone	Required
<b>F</b> Pedestrian zone	Required

<b>5. Building Setbacks</b>	<i>Division 3.6</i>
Street setback (min)	
<b>G</b> Primary street	Existing range or 30'
<b>H</b> Side street	5'
Side setback (min)	
<b>I</b> One side	3'
Cumulative	10'
<b>J</b> Rear setback (min)	
Primary structure	10'
Accessory structure	4'
<b>6. Parking Location</b>	<i>Division 3.9</i>
Front yard	Driveway only
Side street yard	Driveway only
Side / rear yard	Allowed

# N2A NEIGHBORHOOD 2A

## B. Building Standards

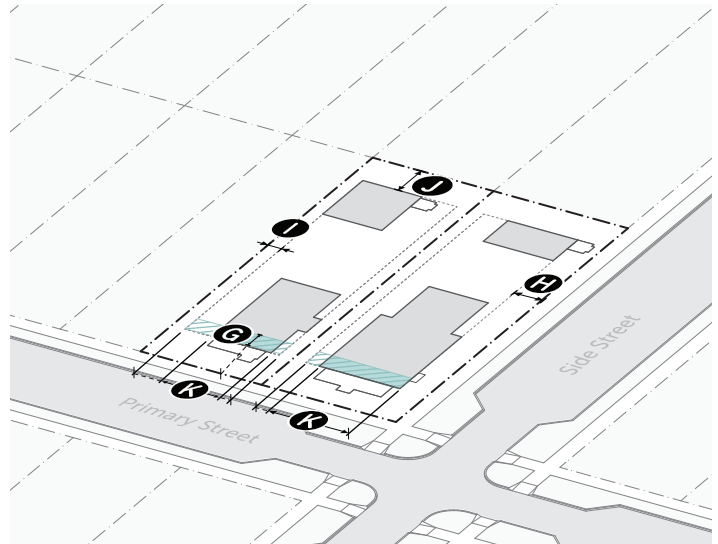
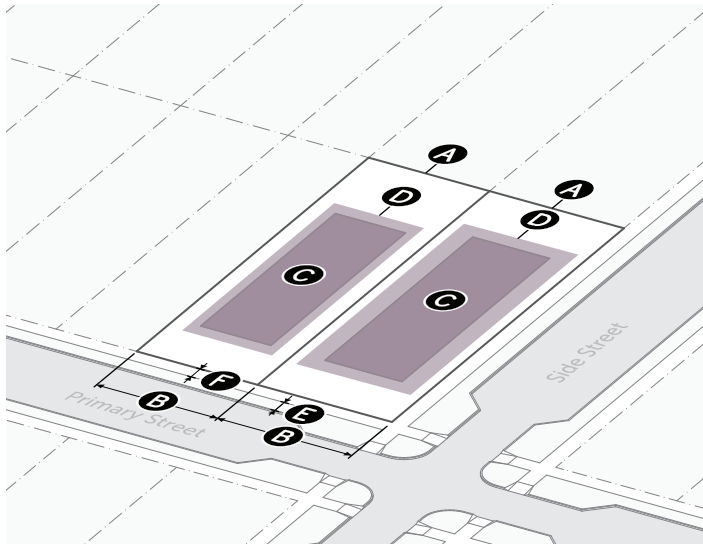


<b>1. Massing</b>	<i>Division 3.10</i>
<b>A</b> Building height (max stories/feet)	
Primary structure	2.5 stories / 35'
Accessory structure	2 stories / 25'
<b>B</b> Side wall height (max)	28'
<b>C</b> Building width (max)	
Primary street	50'
Side street	100'
<b>2. Ground Story</b>	<i>Division 3.12</i>
<b>D</b> Ground story height (min)	9'
<b>E</b> Ground story elevation (min/max)	0' / 4'

<b>3. Windows and Doors</b>	<i>Division 3.13</i>
<b>F</b> Ground story glazing (min)	
Primary street	20%
Side street	15%
<b>G</b> Upper story glazing (min)	10%
<b>H</b> Blank wall width (max)	20'
<b>I</b> Street-facing entry	Required
<b>4. Fences and Walls</b>	<i>Division 3.14</i>
Front yard	Type A3
Side street yard	Type B1
Side / rear yard	Type C1

## SEC. 2.3.5. **N2B** NEIGHBORHOOD 2B

### A. Lot Standards

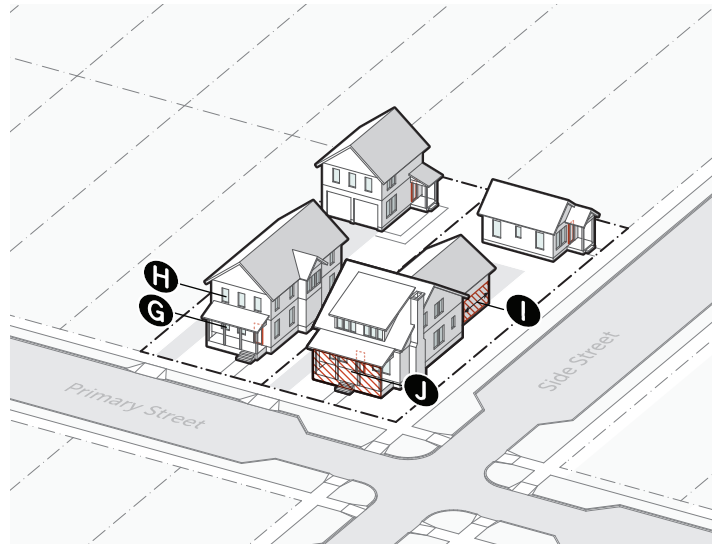
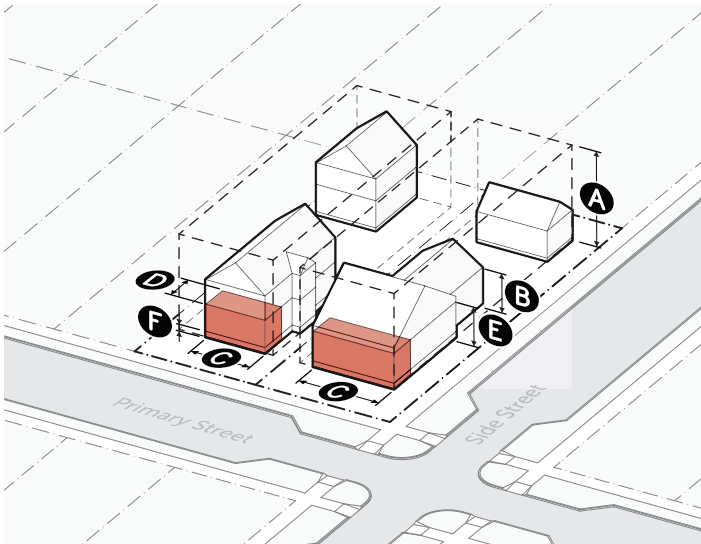


<b>1. Lot Size</b>	<i>Division 3.2</i>
<b>A</b> Lot area (min)	7,500 sf
<b>B</b> Lot width (min)	
Front vehicle access	50'
Side or rear vehicle access	35'
<b>2. Density</b>	<i>Division 3.3</i>
Dwelling units per lot (max)	2
FAR (max, net lot area)	0.6
<b>3. Coverage</b>	<i>Division 3.4</i>
<b>C</b> Building coverage (max)	45%
<b>D</b> Lot coverage (max)	55%
<b>4. Streetscape</b>	<i>Division 3.5</i>
<b>E</b> Amenity zone	Required
<b>F</b> Pedestrian zone	Required

<b>5. Building Setbacks</b>	<i>Division 3.6</i>
Street setback (min)	
<b>G</b> Primary street	Existing range or 15' / 30'
<b>H</b> Side street	5'
Side setback (min)	
<b>I</b> One side	3'
Cumulative	10'
<b>J</b> Rear setback (min)	
Primary structure	7'
Accessory structure	4'
<b>6. Build-To</b>	<i>Division 3.8</i>
<b>K</b> Build-to width (min)	
Primary street	50%
Side street	None
<b>7. Parking Location</b>	<i>Division 3.9</i>
No parking allowed between building and street	

# N2B NEIGHBORHOOD 2B

## B. Building Standards

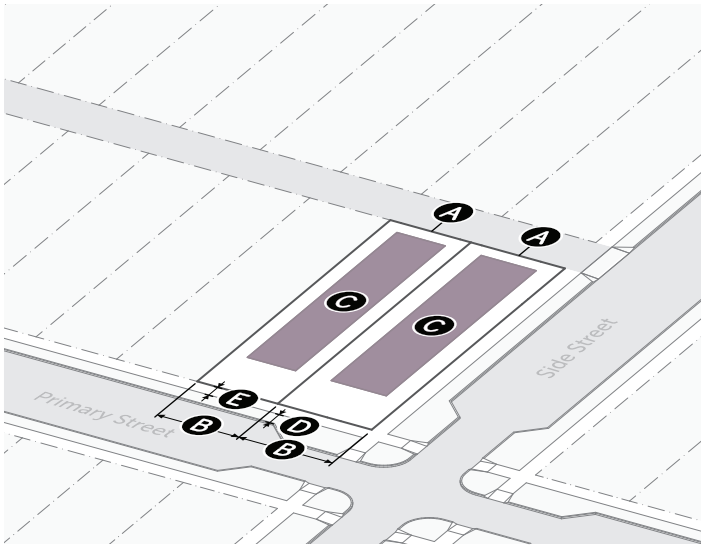


<b>1. Massing</b>	<i>Division 3.10</i>
<b>A</b> Building height (max stories/feet)	
Primary structure	2.5 stories / 35'
Accessory structure	2 stories / 25'
<b>B</b> Side wall height (max)	28'
<b>C</b> Building width (max)	
Primary street	50'
Side street	100'
<b>2. Activation</b>	<i>Division 3.11</i>
<b>D</b> Active depth (min)	
Primary street	10'
Side street	None
<b>3. Ground Story</b>	<i>Division 3.12</i>
<b>E</b> Ground story height (min)	9'
<b>F</b> Ground story elevation (min/max)	0' / 4'

<b>4. Windows and Doors</b>	<i>Division 3.13</i>
<b>G</b> Ground story glazing (min)	
Primary street	20%
Side street	15%
<b>H</b> Upper story glazing (min)	10%
<b>I</b> Blank wall width (max)	20'
<b>J</b> Street-facing entry	Required
<b>5. Fences and Walls</b>	<i>Division 3.14</i>
Front yard	Type A3
Side street yard	Type B1
Side / rear yard	Type C1

## SEC. 2.3.6. **N3A** NEIGHBORHOOD 3A

### A. Lot Standards

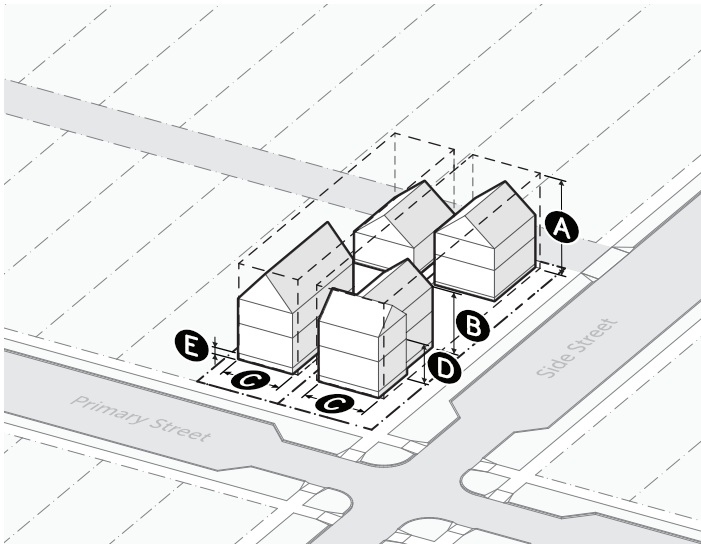


1. Lot Size	Division 3.2
Ⓐ Lot area (min)	5,000 sf
Ⓑ Lot width (min)	
Front vehicle access	40'
Side or rear vehicle access	25'
2. Density	Division 3.3
Dwelling units per lot (max)	1
FAR (max, net lot area)	0.6
3. Coverage	Division 3.4
Ⓒ Building coverage (max)	60%
4. Streetscape	Division 3.5
Ⓓ Amenity zone	Required
Ⓔ Pedestrian zone	Required

5. Building Setbacks	Division 3.6
Street setback (min)	
Ⓕ Primary street	Existing range or 20'
Ⓖ Side street	5'
Side setback (min)	
Ⓗ One side	3'
Cumulative	10'
Ⓖ Rear setback (min)	
Primary structure	7'
Accessory structure	4'
6. Parking Location	Division 3.9
Front yard	Driveway only
Side street yard	Driveway only
Side / rear yard	Allowed

# N3A NEIGHBORHOOD 3A

## B. Building Standards



<b>1. Massing</b>	<i>Division 3.10</i>
<b>A</b> Building height (max stories/feet)	
Primary structure	2.5 stories / 35'
Accessory structure	2 stories / 25'
<b>B</b> Side wall height (max)	28'
<b>C</b> Building width (max)	
Primary street	40'
Side street	90'
<b>2. Ground Story</b>	<i>Division 3.12</i>
<b>D</b> Ground story height (min)	9'
<b>E</b> Ground story elevation (min/max)	0' / 4'

<b>3. Windows and Doors</b>	<i>Division 3.13</i>
<b>F</b> Ground story glazing (min)	
Primary street	20%
Side street	15%
<b>G</b> Upper story glazing (min)	10%
<b>H</b> Blank wall width (max)	20'
<b>I</b> Street-facing entry	Required
<b>4. Fences and Walls</b>	<i>Division 3.14</i>
Front yard	Type A3
Side street yard	Type B1
Side / rear yard	Type C1

## SEC. 2.3.7. **N3B** NEIGHBORHOOD 3B

### A. Lot Standards

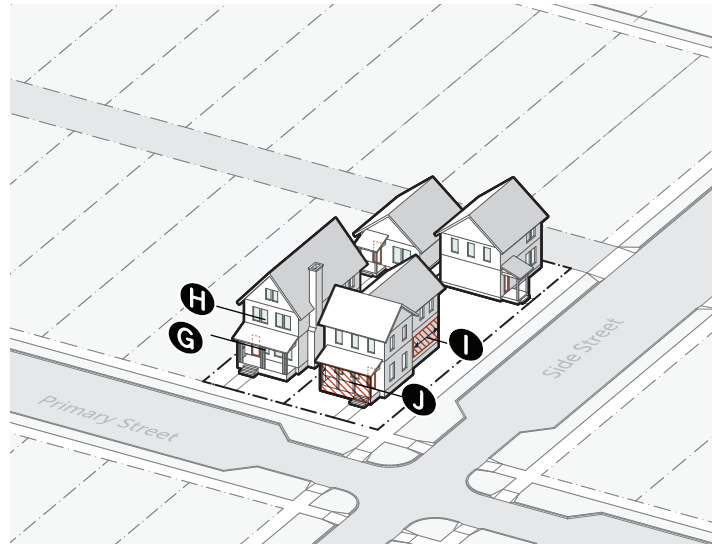
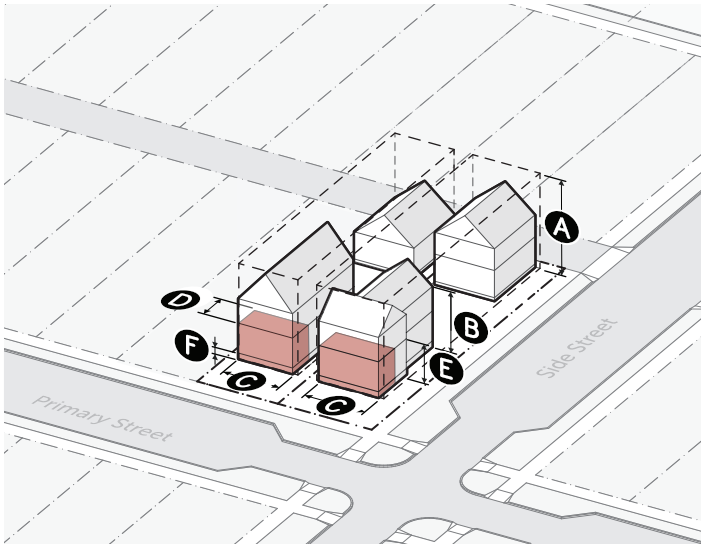


<b>1. Lot Size</b>	<i>Division 3.2</i>
<b>A</b> Lot area (min)	5,000 sf
<b>B</b> Lot width (min)	
Front vehicle access	40'
Side or rear vehicle access	25'
<b>2. Density</b>	<i>Division 3.3</i>
Dwelling units per lot (max)	2
FAR (max, net lot area)	0.65
<b>3. Coverage</b>	<i>Division 3.4</i>
<b>C</b> Building coverage (max)	60%
<b>4. Streetscape</b>	<i>Division 3.5</i>
<b>D</b> Amenity zone	Required
<b>E</b> Pedestrian zone	Required

<b>5. Building Setbacks</b>	<i>Division 3.6</i>
Street setback (min)	
<b>F</b> Primary street	Existing range or 15' / 30'
<b>G</b> Side street	7'
Side setback (min)	
<b>H</b> One side	3'
Cumulative	10'
<b>I</b> Rear setback (min)	
Primary structure	7'
Accessory structure	4'
<b>6. Build-To</b>	<i>Division 3.8</i>
<b>J</b> Build-to width (min)	
Primary street	50%
Side street	None
<b>7. Parking Location</b>	<i>Division 3.9</i>
No parking allowed between building and street	

# N3B NEIGHBORHOOD 3B

## B. Building Standards

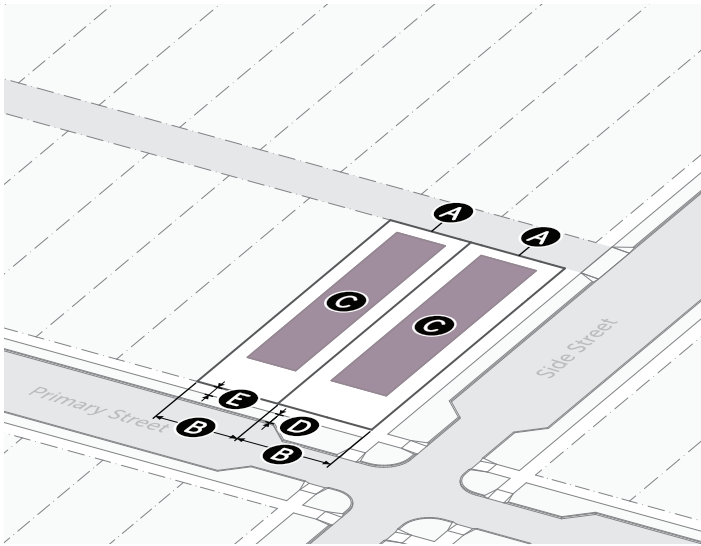


1. Massing	Division 3.10
<b>A</b> Building height (max stories/feet)	
Primary structure	2.5 stories / 35'
Accessory structure	2 stories / 25'
<b>B</b> Side wall height (max)	28'
<b>C</b> Building width (max)	
Primary street	40'
Side street	90'
2. Activation	Division 3.11
<b>D</b> Active depth (min)	
Primary street	10'
Side street	None
3. Ground Story	Division 3.12
<b>E</b> Ground story height (min)	9'
<b>F</b> Ground story elevation (min/max)	0' / 4'

4. Windows and Doors	Division 3.13
<b>G</b> Ground story glazing (min)	
Primary street	20%
Side street	15%
<b>H</b> Upper story glazing (min)	10%
<b>I</b> Blank wall width (max)	20'
<b>J</b> Street-facing entry	Required
5. Fences and Walls	Division 3.14
Front yard	Type A3
Side street yard	Type B1
Side / rear yard	Type C1

## SEC. 2.3.8. **N4A** NEIGHBORHOOD 4A

### A. Lot Standards

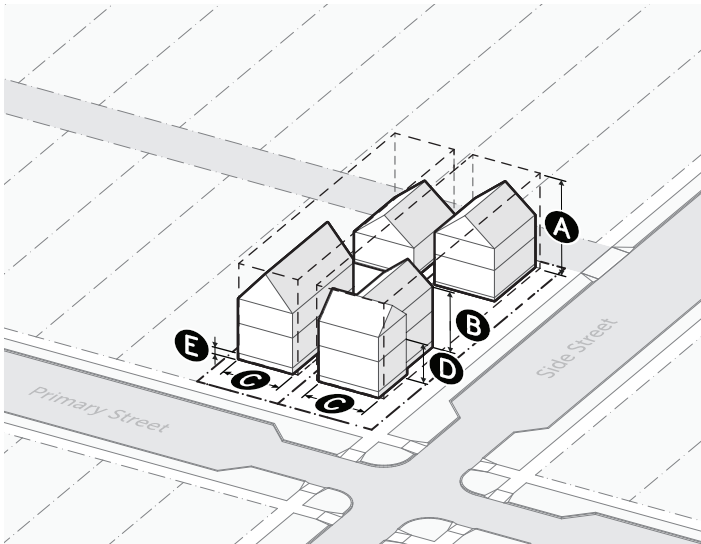


<b>1. Lot Size</b>	<i>Division 3.2</i>
<b>A</b> Lot area (min)	2,800 sf
<b>B</b> Lot width (min)	
Front vehicle access	40'
Side or rear vehicle access	25'
<b>2. Density</b>	<i>Division 3.3</i>
Dwelling units per lot (max)	1
FAR (max, net lot area)	0.65
<b>3. Coverage</b>	<i>Division 3.4</i>
<b>C</b> Building coverage (max)	65%
<b>4. Streetscape</b>	<i>Division 3.5</i>
<b>D</b> Amenity zone	Required
<b>E</b> Pedestrian zone	Required

<b>5. Building Setbacks</b>	<i>Division 3.6</i>
Street setback (min)	
<b>F</b> Primary street	Existing range or 20'
<b>G</b> Side street	5'
Side setback (min)	
<b>H</b> One side	3'
Cumulative	10'
<b>I</b> Rear setback (min)	
Primary structure	5'
Accessory structure	4'
<b>6. Parking Location</b>	<i>Division 3.9</i>
Front yard	Driveway only
Side street yard	Driveway only
Side / rear yard	Allowed

# N4A NEIGHBORHOOD 4A

## B. Building Standards

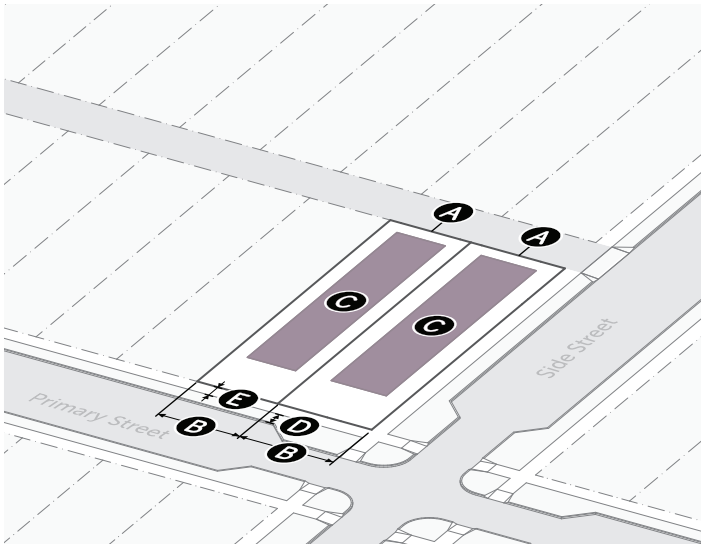


<b>1. Massing</b>	<i>Division 3.10</i>
<b>A</b> Building height (max stories/feet)	
Primary structure	2.5 stories / 35'
Accessory structure	2 stories / 25'
<b>B</b> Side wall height (max)	28'
<b>C</b> Building width (max)	
Primary street	35'
Side street	70'
<b>2. Ground Story</b>	<i>Division 3.12</i>
<b>D</b> Ground story height (min)	9'
<b>E</b> Ground story elevation (min/max)	0' / 4'

<b>3. Windows and Doors</b>	<i>Division 3.13</i>
<b>F</b> Ground story glazing (min)	
Primary street	20%
Side street	15%
<b>G</b> Upper story glazing (min)	10%
<b>H</b> Blank wall width (max)	20'
<b>I</b> Street-facing entry	Required
<b>4. Fences and Walls</b>	<i>Division 3.14</i>
Front yard	Type A3
Side street yard	Type B1
Side / rear yard	Type C1

## SEC. 2.3.9. **N4B** NEIGHBORHOOD 4B

### A. Lot Standards

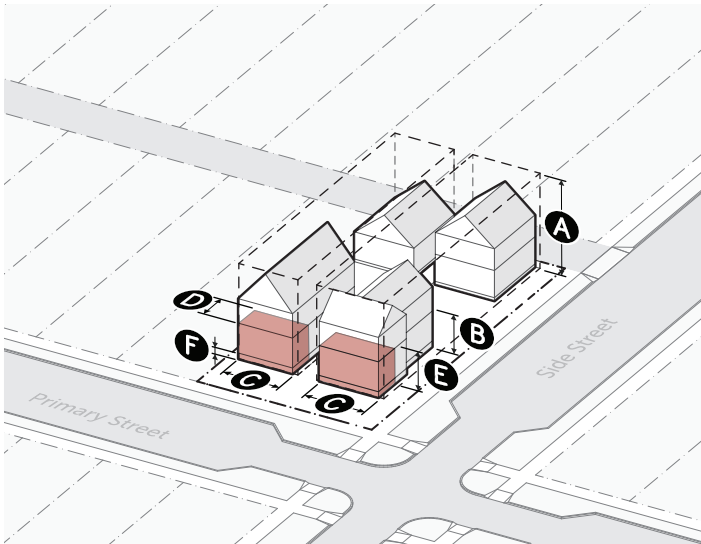


<b>1. Lot Size</b>	<i>Division 3.2</i>
<b>A</b> Lot area (min)	2,800 sf
<b>B</b> Lot width (min)	
Front vehicle access	40'
Side or rear vehicle access	25'
<b>2. Density</b>	<i>Division 3.3</i>
Dwelling units per lot (max)	2
FAR (max, net lot area)	0.7
<b>3. Coverage</b>	<i>Division 3.4</i>
<b>C</b> Building coverage (max)	65%
<b>4. Streetscape</b>	<i>Division 3.5</i>
<b>D</b> Amenity zone	Required
<b>E</b> Pedestrian zone	Required

<b>5. Building Setbacks</b>	<i>Division 3.6</i>
Street setback (min)	
<b>F</b> Primary street	Existing range or 15' / 30'
<b>G</b> Side street	5'
Side setback (min)	
<b>H</b> One side	3'
Cumulative	10'
<b>I</b> Rear setback (min)	
Primary structure	5'
Accessory structure	4'
<b>6. Build-To</b>	<i>Division 3.8</i>
<b>J</b> Build-to width (min)	
Primary street	50%
Side street	None
<b>7. Parking Location</b>	<i>Division 3.9</i>
No parking allowed between building and street	

# N4B NEIGHBORHOOD 4B

## B. Building Standards

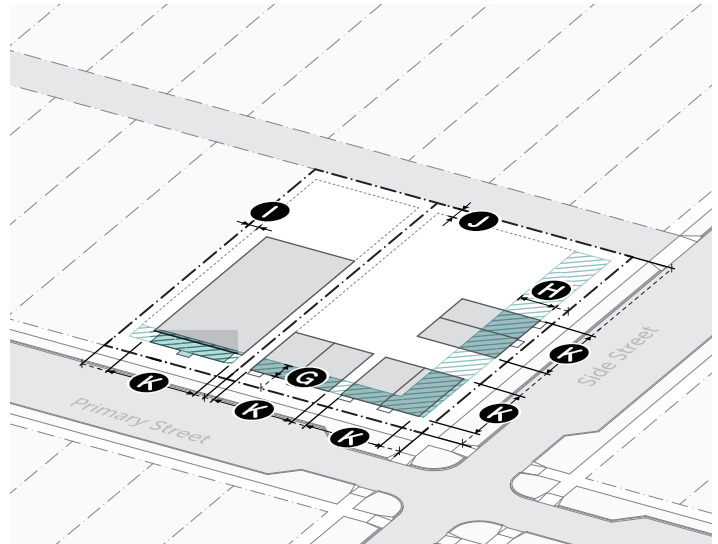


1. Massing	Division 3.10
<b>A</b> Building height (max stories/feet)	
Primary structure	2.5 stories / 35'
Accessory structure	2 stories / 25'
<b>B</b> Side wall height (max)	28'
<b>C</b> Building width (max)	
Primary street	35'
Side street	70'
2. Activation	Division 3.11
<b>D</b> Active depth (min)	
Primary street	10'
Side street	None
3. Ground Story	Division 3.12
<b>E</b> Ground story height (min)	9'
<b>F</b> Ground story elevation (min/max)	0' / 4'

4. Windows and Doors	Division 3.13
<b>G</b> Ground story glazing (min)	
Primary street	20%
Side street	15%
<b>H</b> Upper story glazing (min)	10%
<b>I</b> Blank wall width (max)	20'
<b>J</b> Street-facing entry	Required
5. Fences and Walls	Division 3.14
Front yard	Type A3
Side street yard	Type B1
Side / rear yard	Type C1

## SEC. 2.3.10. **N5A** NEIGHBORHOOD 5A

### A. Lot Standards

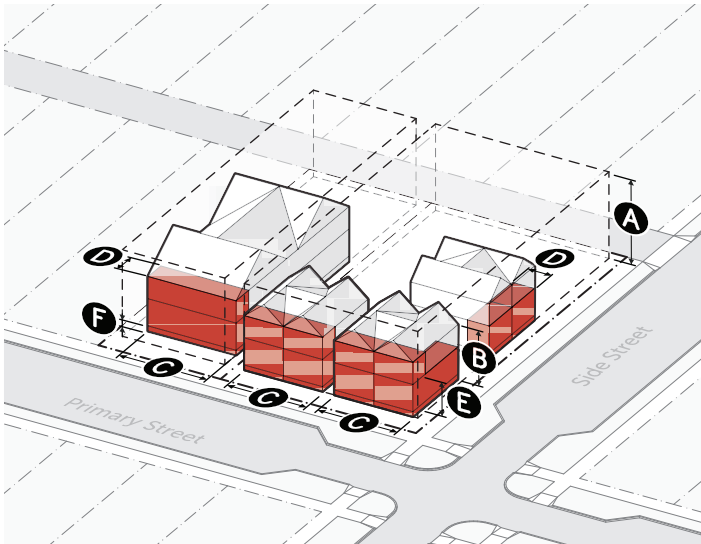


<b>1. Lot Size</b>	<i>Division 3.2</i>
Ⓐ Lot area (min)	2,000 sf
Ⓑ Lot width (min)	25'
<b>2. Density</b>	<i>Division 3.3</i>
Dwelling units per lot (max)	6
<b>3. Coverage</b>	<i>Division 3.4</i>
Ⓒ Building coverage (max)	65%
Ⓓ Outdoor amenity space (min)	15%
<b>4. Streetscape</b>	<i>Division 3.5</i>
Ⓔ Amenity zone	Required
Ⓕ Pedestrian zone	Required

<b>5. Building Setbacks</b>	<i>Division 3.6</i>
Street setback (min)	
Ⓒ Primary street	Existing range or 10' / 25'
Ⓓ Side street	5' / 20'
Side setback (min)	
Ⓙ One side	3'
Cumulative	10'
Ⓚ Rear setback (min)	7'
<b>6. Build-To</b>	<i>Division 3.8</i>
Ⓛ Build-to width (min)	
Primary street	65%
Side street	40%
<b>7. Parking Location</b>	<i>Division 3.9</i>
No parking allowed between building and street	

# N5A NEIGHBORHOOD 5A

## B. Building Standards

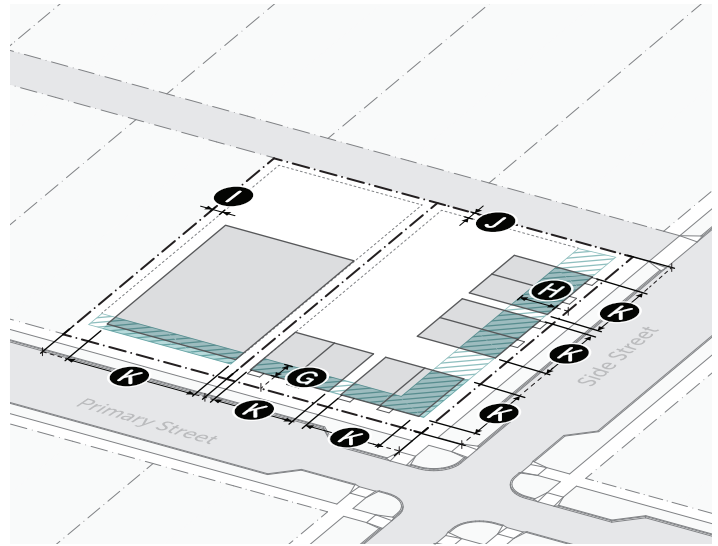
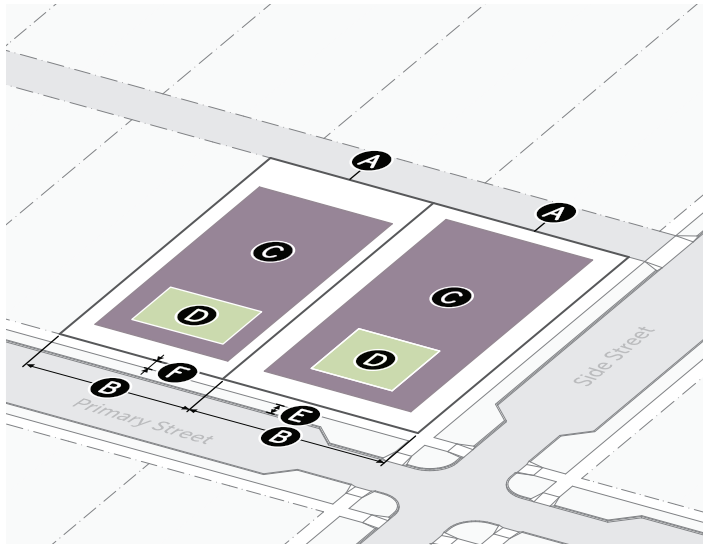


<b>1. Massing</b>	<i>Division 3.10</i>
<b>A</b> Building height (max stories/feet)	2.5 stories / 35'
<b>B</b> Side wall height (max)	28'
<b>C</b> Building width (max)	
Primary street	40'
Side street	90'
<b>2. Activation</b>	<i>Division 3.11</i>
<b>D</b> Active depth (min)	
Primary street	10'
Side street	10'
<b>3. Ground Story</b>	<i>Division 3.12</i>
<b>E</b> Ground story height (min)	9'
<b>F</b> Ground story elevation (min/max)	0' / 4'

<b>4. Windows and Doors</b>	<i>Division 3.13</i>
<b>G</b> Ground story glazing (min)	
Primary street	20%
Side street	15%
<b>H</b> Upper story glazing (min)	10%
<b>I</b> Blank wall width (max)	20'
<b>J</b> Street-facing entry	Required
<b>5. Fences and Walls</b>	<i>Division 3.14</i>
Front yard	Type A3
Side street yard	Type B1
Side / rear yard	Type C1

## SEC. 2.3.11. **N5B** NEIGHBORHOOD 5B

### A. Lot Standards

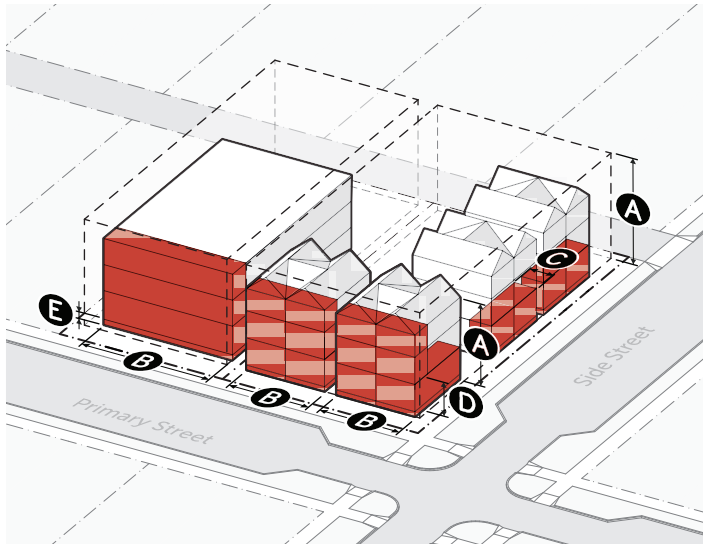


<b>1. Lot Size</b>	<i>Division 3.2</i>
Ⓐ Lot area (min)	2,000 sf
Ⓑ Lot width (min)	25'
<b>2. Density</b>	<i>Division 3.3</i>
Dwelling units per lot (max)	12
<b>3. Coverage</b>	<i>Division 3.4</i>
Ⓒ Building coverage (max)	70%
Ⓓ Outdoor amenity space (min)	15%
<b>4. Streetscape</b>	<i>Division 3.5</i>
Ⓔ Amenity zone	Required
Ⓕ Pedestrian zone	Required

<b>5. Building Setbacks</b>	<i>Division 3.6</i>
Street setback (min)	
Ⓖ Primary street	Existing range or 10' / 25'
Ⓗ Side street	5' / 20'
Ⓘ Side setback (min)	5'
Ⓝ Rear setback (min)	7'
<b>6. Build-To</b>	<i>Division 3.8</i>
Ⓚ Build-to width (min)	
Primary street	65%
Side street	40%
<b>7. Parking Location</b>	<i>Division 3.9</i>
No parking allowed between building and street	

# N5B NEIGHBORHOOD 5B

## B. Building Standards

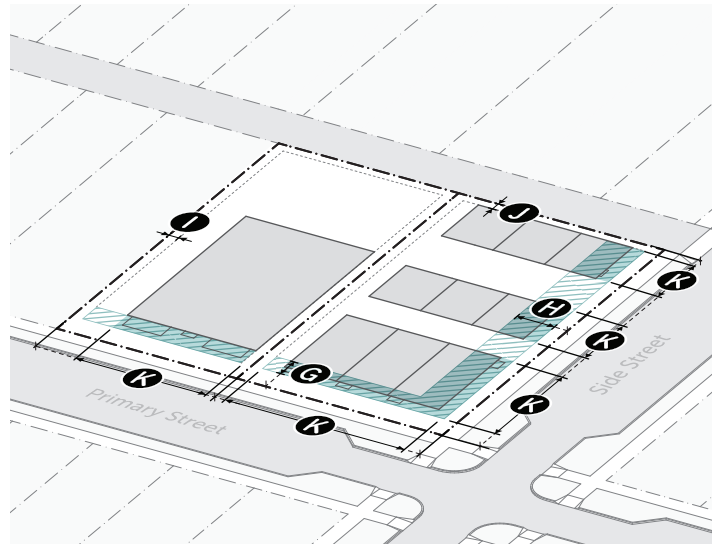


<b>1. Massing</b>	<i>Division 3.10</i>
<b>A</b> Building height (max stories/feet)	3 stories / 35'
<b>B</b> Building width (max)	
Primary street	40'
Side street	90'
<b>2. Activation</b>	<i>Division 3.11</i>
<b>C</b> Active depth (min)	
Primary street	10'
Side street	10'
<b>3. Ground Story</b>	<i>Division 3.12</i>
<b>D</b> Ground story height (min)	9'
<b>E</b> Ground story elevation (min/max)	0' / 4'

<b>4. Windows and Doors</b>	<i>Division 3.13</i>
<b>F</b> Ground story glazing (min)	
Primary street	20%
Side street	15%
<b>G</b> Upper story glazing (min)	10%
<b>H</b> Blank wall width (max)	20'
<b>I</b> Street-facing entry	Required
<b>5. Fences and Walls</b>	<i>Division 3.14</i>
Front yard	Type A3
Side street yard	Type B1
Side / rear yard	Type C1

## SEC. 2.3.12. **N6A** NEIGHBORHOOD 6A

### A. Lot Standards

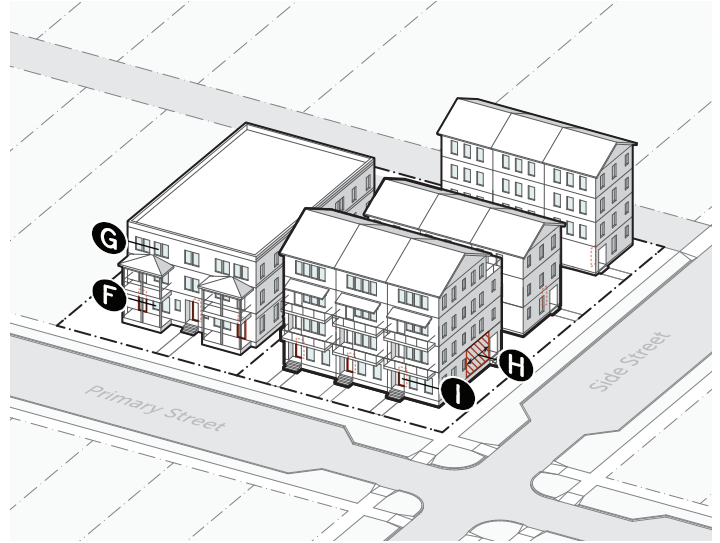
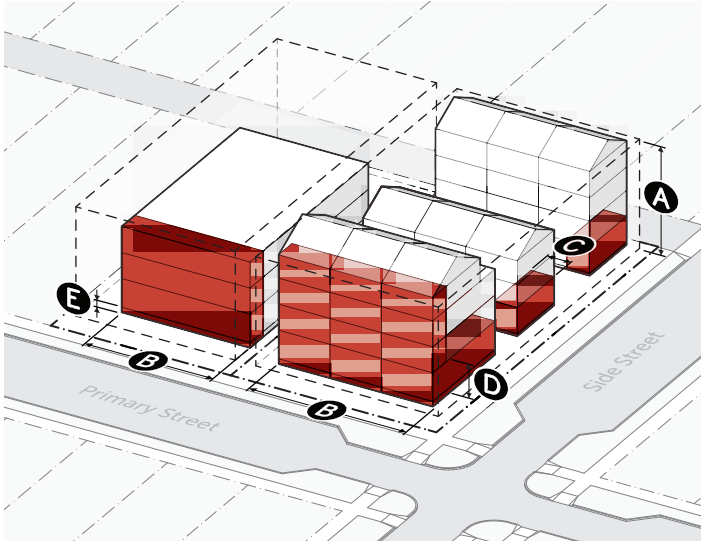


<b>1. Lot Size</b>	<i>Division 3.2</i>
<b>A</b> Lot area (min)	2,000 sf
<b>B</b> Lot width (min)	20'
<b>2. Density</b>	<i>Division 3.3</i>
Dwelling units per lot (max)	Unlimited
FAR (max, net lot area)	1.0
<b>3. Coverage</b>	<i>Division 3.4</i>
<b>C</b> Building coverage (max)	75%
<b>D</b> Outdoor amenity space (min)	20%
<b>4. Streetscape</b>	<i>Division 3.5</i>
<b>E</b> Amenity zone	Required
<b>F</b> Pedestrian zone	Required
Front and side street yard landscaping	Required

<b>5. Building Setbacks</b>	<i>Division 3.6</i>
Street setback (min)	
<b>G</b> Primary street	Existing range or 15' / 30'
<b>H</b> Side street	5' / 20'
<b>I</b> Side setback (min)	10'
<b>J</b> Rear setback (min)	15'
<b>6. Build-To</b>	<i>Division 3.8</i>
<b>K</b> Build-to width (min)	
Primary street	75%
Side street	45%
<b>7. Parking Location</b>	<i>Division 3.9</i>
No parking allowed between building and street	

# N6A NEIGHBORHOOD 6A

## B. Building Standards

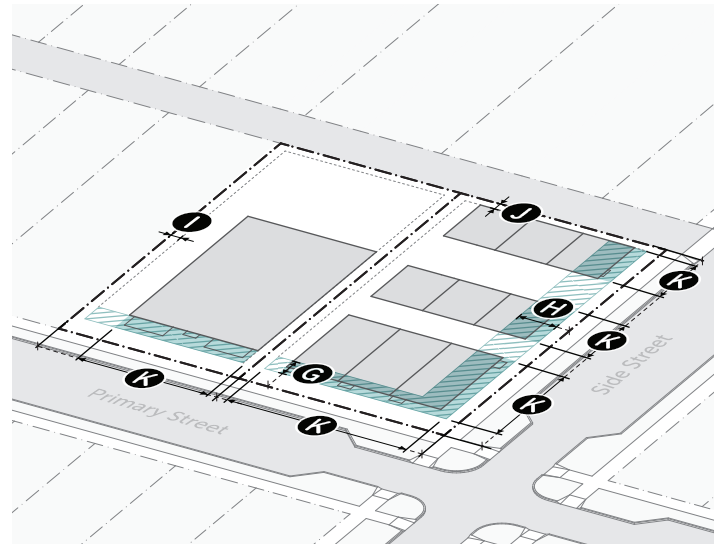


<b>1. Massing</b>	<i>Division 3.10</i>
<b>A</b> Building height (max stories/feet)	3 stories / 40'
<b>B</b> Building width (max)	100'
<b>2. Activation</b>	<i>Division 3.11</i>
<b>C</b> Active depth (min)	
Primary street	20'
Side street	10'
<b>3. Ground Story</b>	<i>Division 3.12</i>
<b>D</b> Ground story height (min)	9'
<b>E</b> Ground story elevation (min/max)	0' / 4'

<b>4. Windows and Doors</b>	<i>Division 3.13</i>	
<b>F</b> Ground story glazing (min)		
Primary street		30%
Side street		25%
<b>G</b> Upper story glazing (min)		20%
<b>H</b> Blank wall width (max)		20'
<b>I</b> Street-facing entry		Required
<b>5. Fences and Walls</b>	<i>Division 3.14</i>	
	<b>Res.</b>	<b>Nonres.</b>
Front yard	Type A3	Type A1
Side street yard	Type B1	Type A1
Side / rear yard	Type C1	Type C1

## SEC. 2.3.13. **N6B** NEIGHBORHOOD 6B

### A. Lot Standards

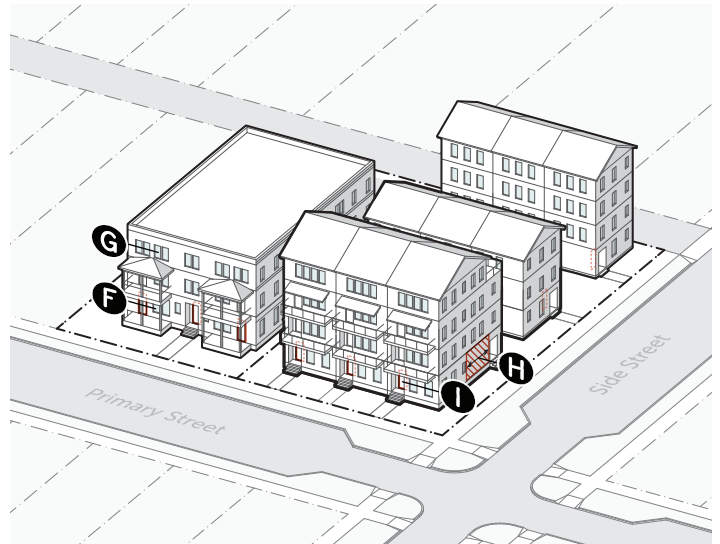
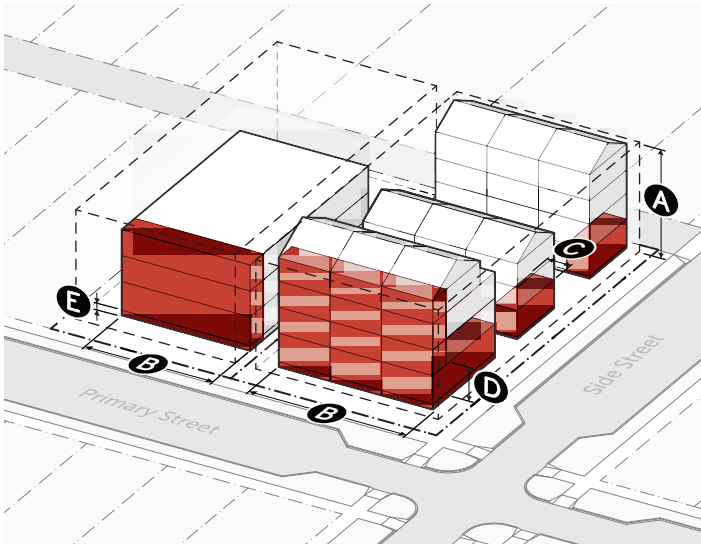


<b>1. Lot Size</b>	<i>Division 3.2</i>
<b>A</b> Lot area (min)	2,000 sf
<b>B</b> Lot width (min)	20'
<b>2. Density</b>	<i>Division 3.3</i>
Dwelling units per lot (max)	Unlimited
FAR (max, net lot area)	1.75
<b>3. Coverage</b>	<i>Division 3.4</i>
<b>C</b> Building coverage (max)	80%
<b>D</b> Outdoor amenity space (min)	20%
<b>4. Streetscape</b>	<i>Division 3.5</i>
<b>E</b> Amenity zone	Required
<b>F</b> Pedestrian zone	Required
Front and side street yard landscaping	Required

<b>5. Building Setbacks</b>	<i>Division 3.6</i>
Street setback (min)	
<b>G</b> Primary street	Existing range or 15' / 30'
<b>H</b> Side street	5' / 20'
<b>I</b> Side setback (min)	10'
<b>J</b> Rear setback (min)	15'
<b>6. Build-To</b>	<i>Division 3.8</i>
<b>K</b> Build-to width (min)	
Primary street	75%
Side street	45%
<b>7. Parking Location</b>	<i>Division 3.9</i>
No parking allowed between building and street	

# N6B NEIGHBORHOOD 6B

## B. Building Standards



<b>1. Massing</b>	<i>Division 3.10</i>
<b>A</b> Building height (max stories/feet)	4 stories / 52'
<b>B</b> Building width (max)	100'
<b>2. Activation</b>	<i>Division 3.11</i>
<b>C</b> Active depth (min)	
Primary street	20'
Side street	10'
<b>3. Ground Story</b>	<i>Division 3.12</i>
<b>D</b> Ground story height (min)	9'
<b>E</b> Ground story elevation (min/max)	0' / 4'

<b>4. Windows and Doors</b>	<i>Division 3.13</i>	
<b>F</b> Ground story glazing (min)		
Primary street		30%
Side street		25%
<b>G</b> Upper story glazing (min)		20%
<b>H</b> Blank wall width (max)		20'
<b>I</b> Street-facing entry		Required
<b>5. Fences and Walls</b>	<i>Division 3.14</i>	
	<b>Res.</b>	<b>Nonres.</b>
Front yard	Type A3	Type A1
Side street yard	Type B1	Type A1
Side / rear yard	Type C1	Type C1

## DIVISION 2.4. **URBAN GENERAL DISTRICTS**



*Intent images are illustrative only.*

### Sec. 2.4.1. Intent

Urban General Form Districts are intended to accommodate a range of low-, moderate-, and higher-intensity buildings with easy access to retail, food and entertainment, and service-oriented uses in a vibrant, pedestrian-friendly environment.

Some Urban General Form Districts are paired with Use Districts that primarily allow residential uses, with some commercial uses that limited in size and extent. Other Urban General Form Districts are paired with Use Districts that permit a variety of uses, from local businesses embedded in neighborhoods to more dense mixed-use development.

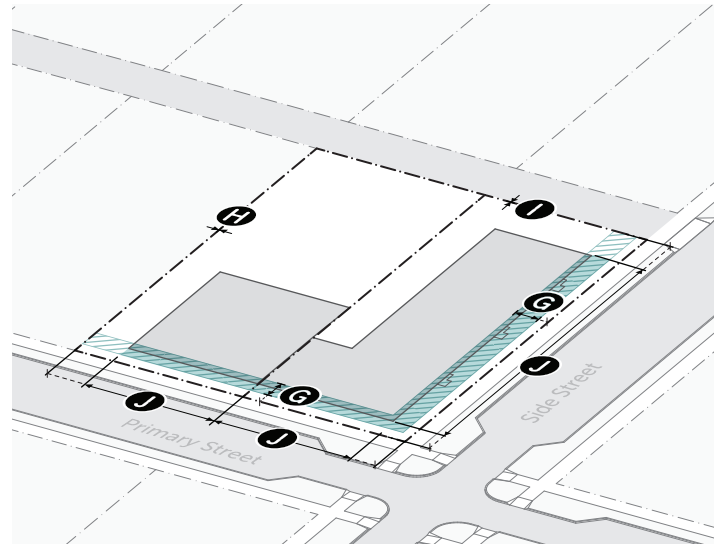
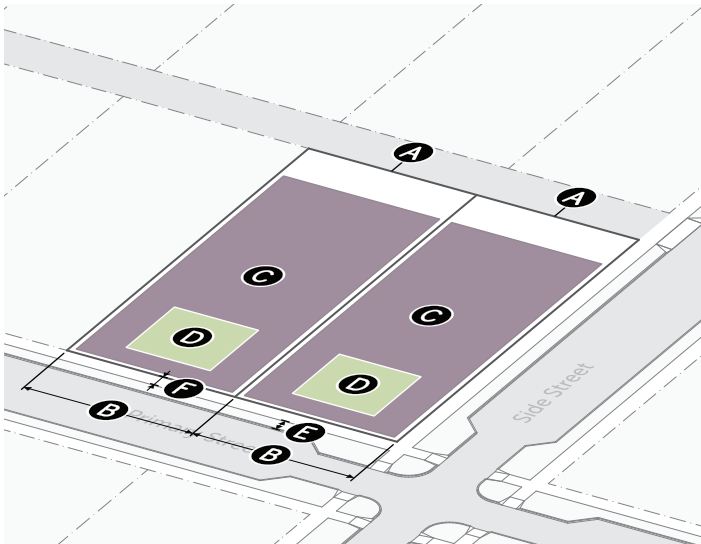
### Sec. 2.4.2. Summary of Districts

The following table includes a summary of some requirements for each Urban General Form District. Detailed requirements are further described in this Division.

URBAN GENERAL DISTRICTS						
District	Lot Area (min)	Lot Width (min)	FAR (max, gross lot area)		Height (max)	
			Base	With Bonus	Base	With Bonus
<b>UG3A</b>	1,000 sf	20'	1.0	2.0	3 stories / 45'	4 stories / 60'
<b>UG3B</b>	None	None	1.5	3.0	3 stories / 45'	4 stories / 60'
<b>UG5A</b>	None	None	1.5	3.0	5 stories / 70'	7 stories / 100'
<b>UG5B</b>	None	None	2.0	4.0	5 stories / 70'	7 stories / 100'
<b>UG8A</b>	None	None	2.0	4.0	8 stories / 115'	14 stories / 200'
<b>UG8B</b>	None	None	3.0	6.0	8 stories / 115'	14 stories / 200'
<b>UG15</b>	None	None	7.0	8.5	15 stories / 210'	24 stories / 340'
<b>UG25</b>	None	None	5.0	8.5	25 stories / 340'	35 stories / 500'

## SEC. 2.4.3. **UG3** URBAN GENERAL 3

### A. Lot Standards

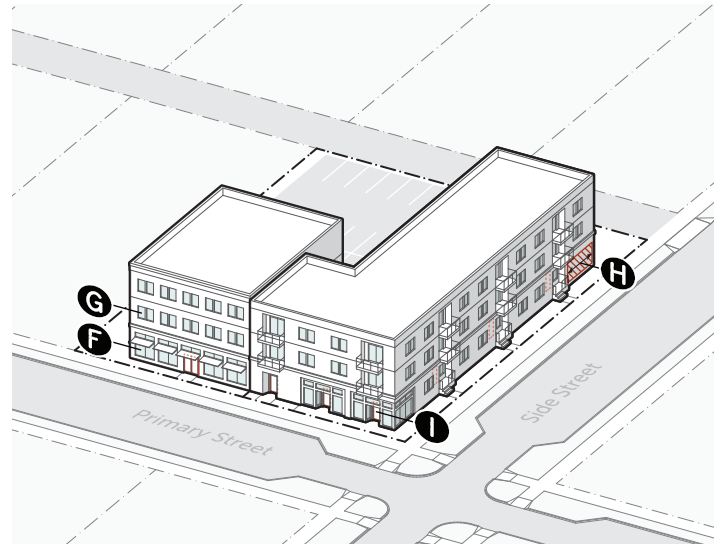
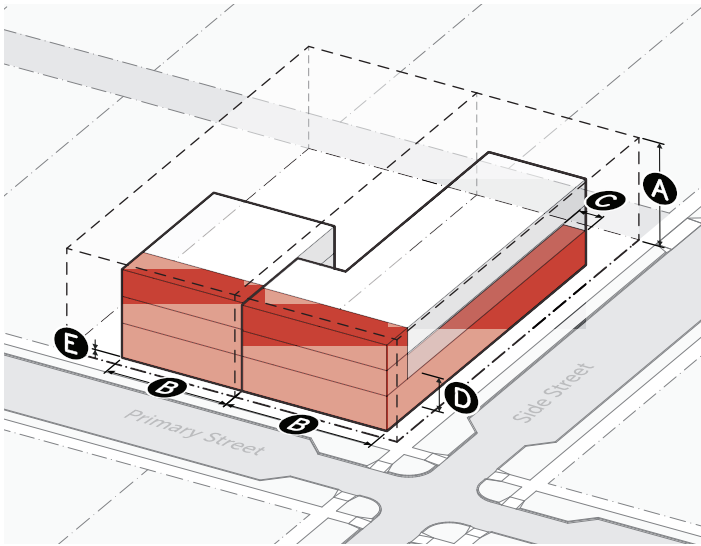


<b>1. Lot Size</b>	Sec. XX.XX.	
<b>A</b> Lot area (min)	1,000 sf	
<b>B</b> Lot width (min)	20'	
<b>2. Density</b>	Sec. XX.XX.	
	<b>UG3A</b>	<b>UG3B</b>
Dwelling units per lot (max)	Unlimited	Unlimited
FAR (max, gross lot area)		
Base	1.0	1.5
With bonus	2.0	3.0
<b>3. Coverage</b>	Sec. XX.XX.	
<b>C</b> Building coverage (max)	85%	
<b>D</b> Outdoor amenity space (min)		
Up to 1 acre	10%	
Over 1 acre	15%	
<b>4. Streetscape</b>	Sec. XX.XX.	
<b>E</b> Amenity zone	Required	
<b>F</b> Pedestrian zone	Required	
Front and side street yard landscaping		
Residential	Required	
Nonresidential / storefront	Not required	

<b>5. Building Setbacks</b>	Sec. XX.XX.	
<b>G</b> Street setback (min/max)		
Primary street	5' / 15'	
Side street	5' / 15'	
Storefront street	0' / 10'	
<b>H</b> Side setback (min)	0'	
<b>I</b> Rear setback (min)	0'	
<b>6. Transition</b>	Sec. XX.XX.	
Transition type	Type A or B	
<b>7. Build-To</b>	Sec. XX.XX.	
<b>J</b> Build-to width (min)		
Primary street	75%	
Side street	50%	
Storefront street	85%	
<b>8. Parking Location</b>	Sec. XX.XX.	
No parking allowed between building and street		

# UG3 URBAN GENERAL 3

## B. Building Standards

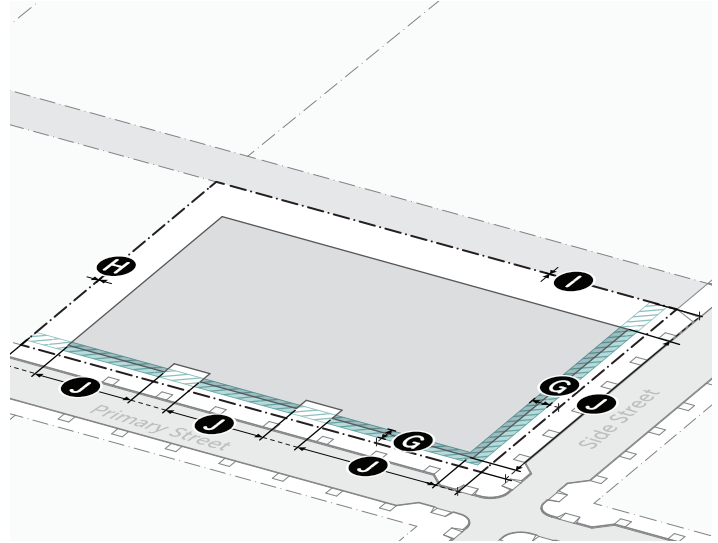
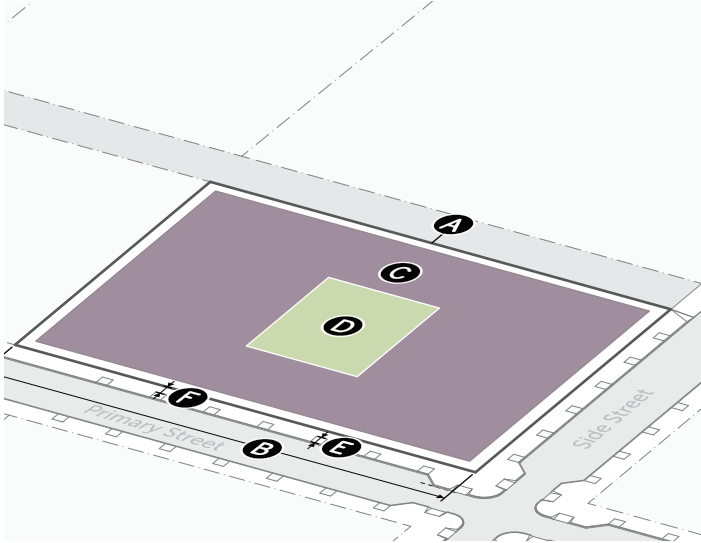


1. Massing		Sec. XX.XX.	
Building height (max stories/feet)			
<b>A</b>	Base	3 stories / 45'	
	With bonus	4 stories / 60'	
<b>B</b>	Building width (max)		
	Primary street	275'	
	Side street	275'	
	Storefront street	175'	
2. Activation		Sec. XX.XX.	
<b>C</b>	Active depth (min)		
	Primary street	20'	
	Side street	10'	
	Storefront street	30'	
3. Ground Story		Sec. XX.XX.	
		Res.	Nonres.
<b>D</b>	Ground story height (min)	10'	14'
<b>E</b>	Ground story elevation (min/max)	0' / 4'	-2' / 4'

4. Windows and Doors		Sec. XX.XX.	
		Res.	Nonres.
<b>F</b>	Ground story glazing (min)		
	Primary street	30%	50%
	Side street	25%	25%
	Storefront street	70%	70%
<b>G</b>	Upper story glazing (min)	20%	20%
<b>H</b>	Blank wall width (max)		
	Primary street	15'	15'
	Side street	25'	25'
	Storefront street	10'	10'
<b>I</b>	Street-facing entry	Required	Required
5. Fences and Walls		Sec. XX.XX.	
		Res.	Nonres.
	Front yard	Type A3	Type A1
	Side street yard	Type A3	Type A1
	Side / rear yard	Type C1	Type C1

## SEC. 2.4.4. **UG5** URBAN GENERAL 5

### A. Lot Standards

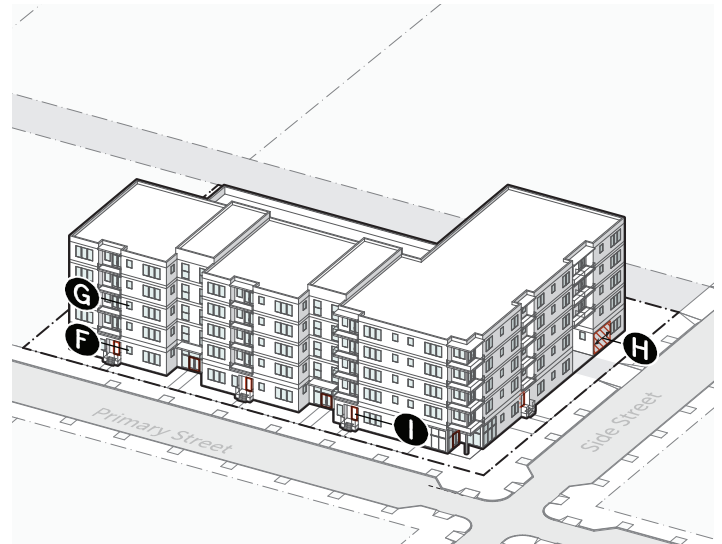
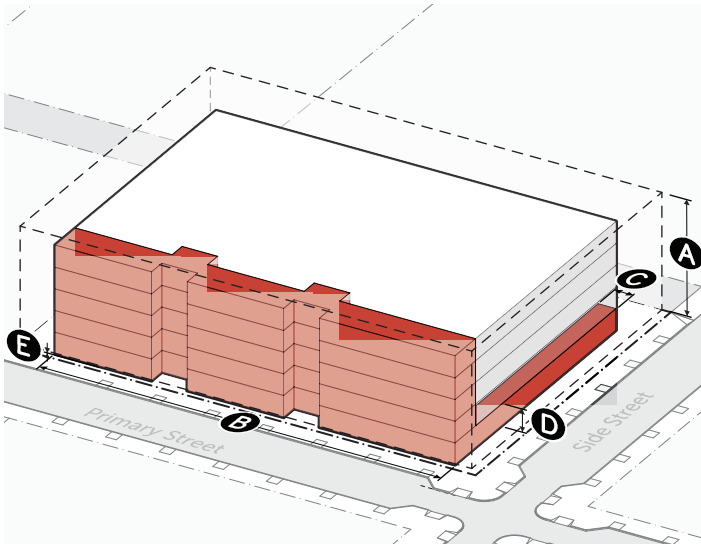


<b>1. Lot Size</b>	Sec. XX.XX.	
<b>A</b> Lot area (min)	None	
<b>B</b> Lot width (min)	None	
<b>2. Density</b>	Sec. XX.XX.	
	<b>UG5A</b>	<b>UG5B</b>
Dwelling units per lot (max)	Unlimited	Unlimited
FAR (max, gross lot area)		
Base	1.5	2.0
With bonus	3.0	4.0
<b>3. Coverage</b>	Sec. XX.XX.	
<b>C</b> Building coverage (max)	85%	
<b>D</b> Outdoor amenity space (min)		
Up to 1 acre	10%	
Over 1 acre	15%	
<b>4. Streetscape</b>	Sec. XX.XX.	
<b>E</b> Amenity zone	Required	
<b>F</b> Pedestrian zone	Required	
Front and side street yard landscaping		
Residential	Required	
Nonresidential / storefront	Not required	

<b>5. Building Setbacks</b>	Sec. XX.XX.	
<b>G</b> Street setback (min/max)		
Primary street	5' / 15'	
Side street	5' / 15'	
Storefront street	0' / 10'	
<b>H</b> Side setback (min)	0'	
<b>I</b> Rear setback (min)	0'	
<b>6. Transition</b>	Sec. XX.XX.	
Transition type	Type A or B	
<b>7. Build-To</b>	Sec. XX.XX.	
<b>J</b> Build-to width (min)		
Primary street	75%	
Side street	50%	
Storefront street	85%	
<b>8. Parking Location</b>	Sec. XX.XX.	
No parking allowed between building and street		

# UG5 URBAN GENERAL 5

## B. Building Standards

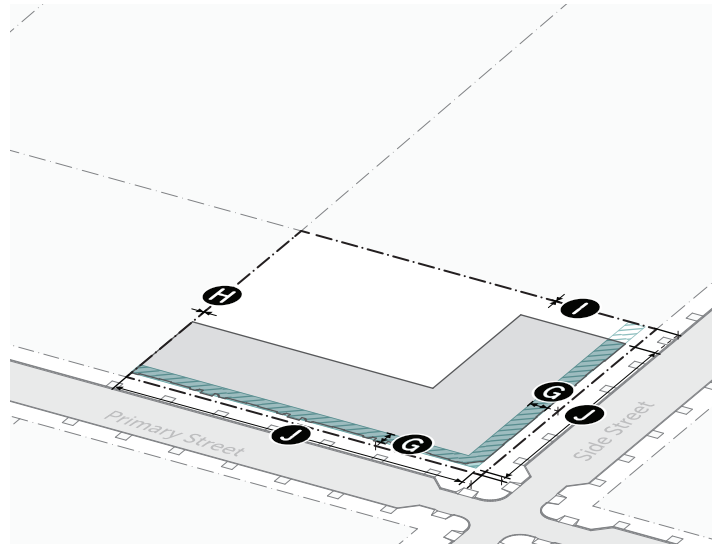
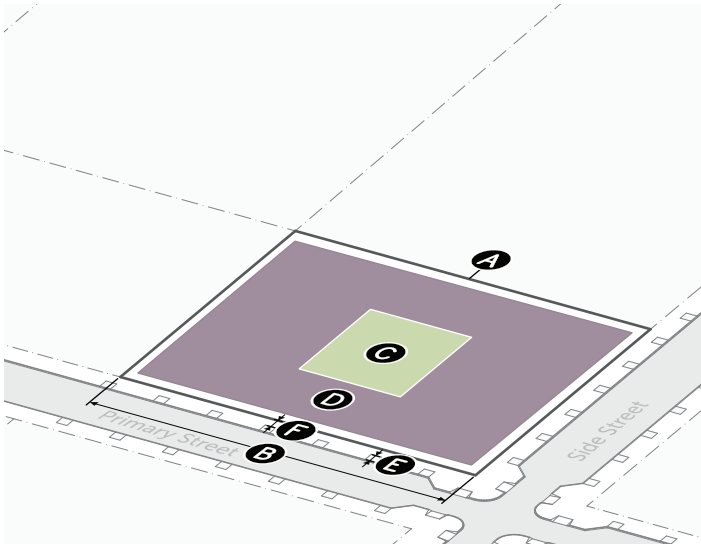


1. Massing		Sec. XX.XX.	
Building height (max stories/feet)			
<b>A</b>	Base	5 stories / 70'	
	With bonus	7 stories / 100'	
<b>B</b>	Building width (max)		
	Primary street	275'	
	Side street	275'	
	Storefront street	175'	
2. Activation		Sec. XX.XX.	
<b>C</b>	Active depth (min)		
	Primary street	20'	
	Side street	10'	
	Storefront street	30'	
3. Ground Story		Sec. XX.XX.	
		Res.	Nonres.
<b>D</b>	Ground story height (min)	10'	14'
<b>E</b>	Ground story elevation (min/max)	0' / 4'	-2' / 4'

4. Windows and Doors		Sec. XX.XX.	
		Res.	Nonres.
<b>F</b>	Ground story glazing (min)		
	Primary street	30%	50%
	Side street	25%	25%
	Storefront street	70%	70%
<b>G</b>	Upper story glazing (min)	20%	20%
<b>H</b>	Blank wall width (max)		
	Primary street	15'	15'
	Side street	25'	25'
	Storefront street	10'	10'
<b>I</b>	Street-facing entry	Required	Required
5. Fences and Walls		Sec. XX.XX.	
		Res.	Nonres.
	Front yard	Type A3	Type A1
	Side street yard	Type A3	Type A1
	Side / rear yard	Type C1	Type C1

## SEC. 2.4.5. **UG8** URBAN GENERAL 8

### A. Lot Standards

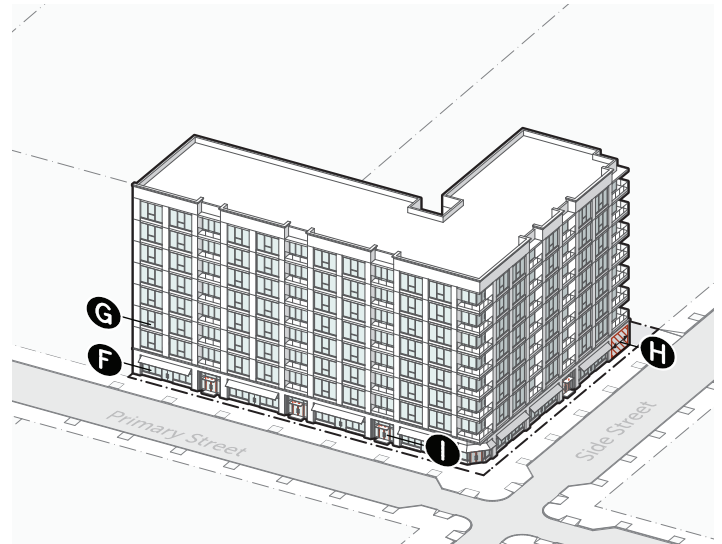
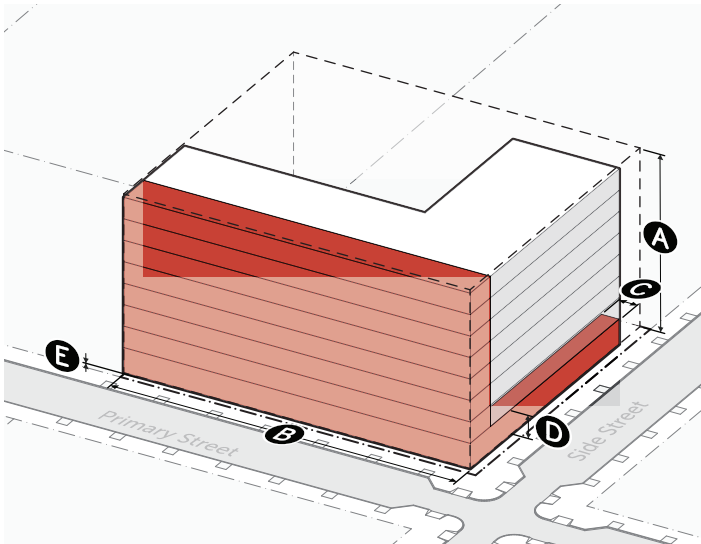


<b>1. Lot Size</b>	Sec. XX.XX.	
<b>A</b> Lot area (min)	None	
<b>B</b> Lot width (min)	None	
<b>2. Density</b>	Sec. XX.XX.	
	<b>UG8A</b>	<b>UG8B</b>
Dwelling units per lot (max)	Unlimited	Unlimited
FAR (max, gross lot area)		
Base	2.0	3.0
With bonus	4.0	6.0
<b>3. Coverage</b>	Sec. XX.XX.	
<b>C</b> Building coverage (max)	85%	
<b>D</b> Outdoor amenity space (min)		
Up to 1 acre	10%	
Over 1 acre	15%	
<b>4. Streetscape</b>	Sec. XX.XX.	
<b>E</b> Amenity zone	Required	
<b>F</b> Pedestrian zone	Required	
Front and side street yard landscaping		
Residential	Required	
Nonresidential / storefront	Not required	

<b>5. Building Setbacks</b>	Sec. XX.XX.	
<b>G</b> Street setback (min/max)		
Primary street	5' / 15'	
Side street	5' / 15'	
Storefront street	0' / 10'	
<b>H</b> Side setback (min)	0'	
<b>I</b> Rear setback (min)	0'	
<b>6. Transition</b>	Sec. XX.XX.	
Transition type	Type A or C	
<b>7. Build-To</b>	Sec. XX.XX.	
<b>J</b> Build-to width (min)		
Primary street	75%	
Side street	50%	
Storefront street	85%	
<b>8. Parking Location</b>	Sec. XX.XX.	
No parking allowed between building and street		

# UG8 URBAN GENERAL 8

## B. Building Standards

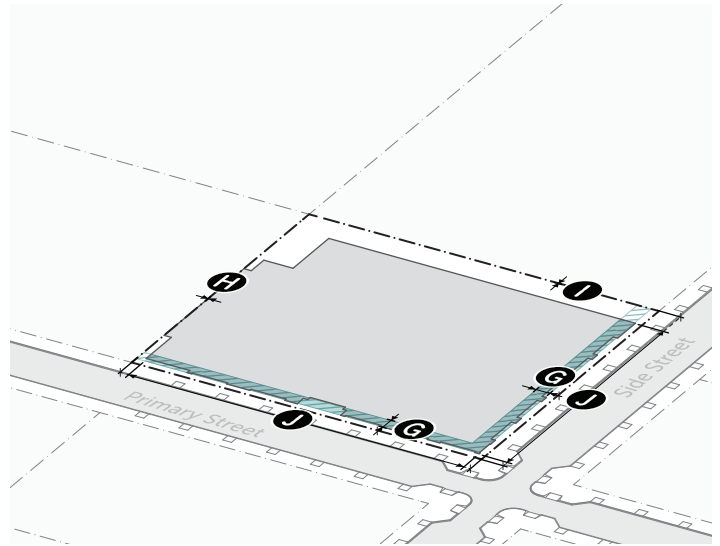
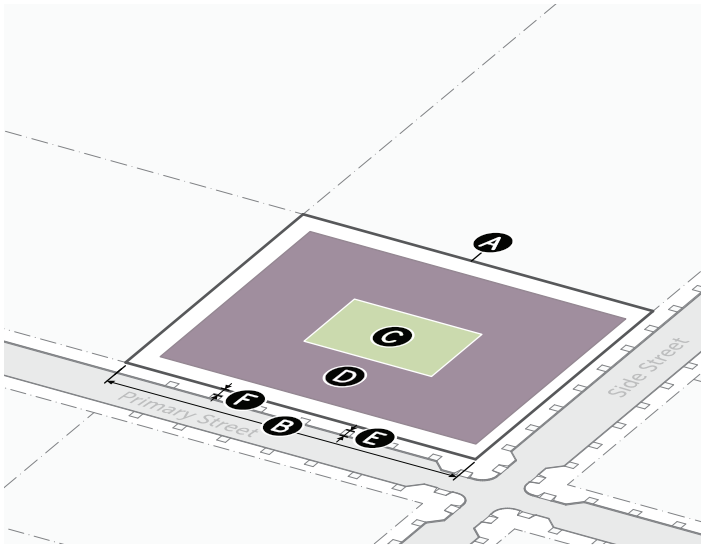


1. Massing		Sec. XX.XX.	
Building height (max stories/feet)			
<b>A</b>	Base	8 stories / 115'	
	With bonus	14 stories / 200'	
<b>B</b>	Building width (max)		
	Primary street	275'	
	Side street	275'	
	Storefront street	175'	
2. Activation		Sec. XX.XX.	
<b>C</b>	Active depth (min)		
	Primary street	20'	
	Side street	10'	
	Storefront street	30'	
3. Ground Story		Sec. XX.XX.	
		Res.	Nonres.
<b>D</b>	Ground story height (min)	10'	14'
<b>E</b>	Ground story elevation (min/max)	0' / 4'	-2' / 4'

4. Windows and Doors		Sec. XX.XX.	
		Res.	Nonres.
<b>F</b>	Ground story glazing (min)		
	Primary street	30%	50%
	Side street	25%	25%
	Storefront street	70%	70%
<b>G</b>	Upper story glazing (min)	20%	20%
<b>H</b>	Blank wall width (max)		
	Primary street	15'	15'
	Side street	25'	25'
	Storefront street	10'	10'
<b>I</b>	Street-facing entry	Required	Required
5. Fences and Walls		Sec. XX.XX.	
		Res.	Nonres.
	Front yard	Type A3	Type A1
	Side street yard	Type A3	Type A1
	Side / rear yard	Type C1	Type C1

## SEC. 2.4.6. **UG15** URBAN GENERAL 15

### A. Lot Standards

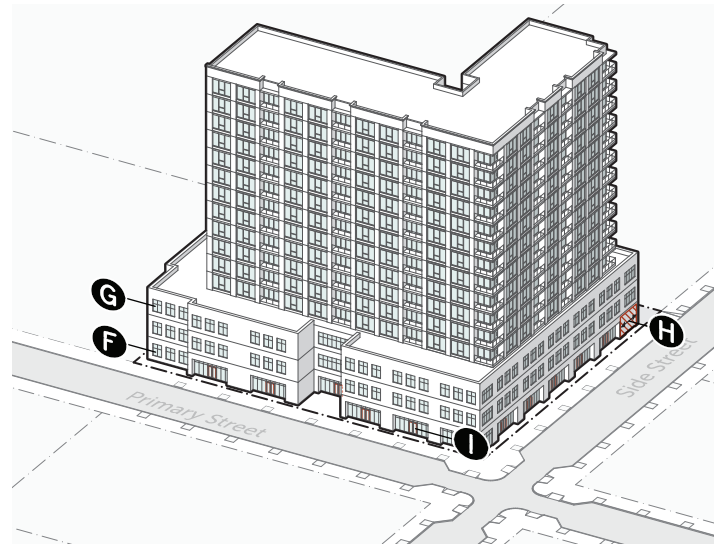
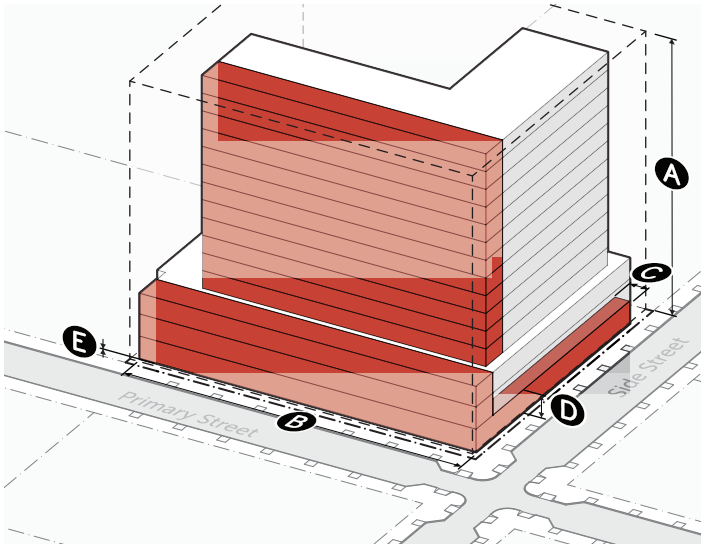


<b>1. Lot Size</b>	Sec. XX.XX.
<b>A</b> Lot area (min)	None
<b>B</b> Lot width (min)	None
<b>2. Density</b>	Sec. XX.XX.
Dwelling units per lot (max)	Unlimited
FAR (max, gross lot area)	<b>03/09/26 Correction</b>
Base	<del>7.0</del> 3.0
With bonus	<del>8.5</del> 4.5
<b>3. Coverage</b>	Sec. XX.XX.
<b>C</b> Building coverage (max)	85%
<b>D</b> Outdoor amenity space (min)	
Up to 1 acre	10%
Over 1 acre	15%
<b>4. Streetscape</b>	Sec. XX.XX.
<b>E</b> Amenity zone	Required
<b>F</b> Pedestrian zone	Required
Front and side street yard landscaping	
Residential	Required
Nonresidential / storefront	Not required

<b>5. Building Setbacks</b>	Sec. XX.XX.
<b>G</b> Street setback (min/max)	
Primary street	5' / 15'
Side street	5' / 15'
Storefront street	0' / 10'
<b>H</b> Side setback (min)	0'
<b>I</b> Rear setback (min)	0'
<b>6. Transition</b>	Sec. XX.XX.
Transition type	Type A or D
<b>7. Build-To</b>	Sec. XX.XX.
<b>J</b> Build-to width (min)	
Primary street	75%
Side street	50%
Storefront street	85%
<b>8. Parking Location</b>	Sec. XX.XX.
No parking allowed between building and street	

# UG15 URBAN GENERAL 15

## B. Building Standards

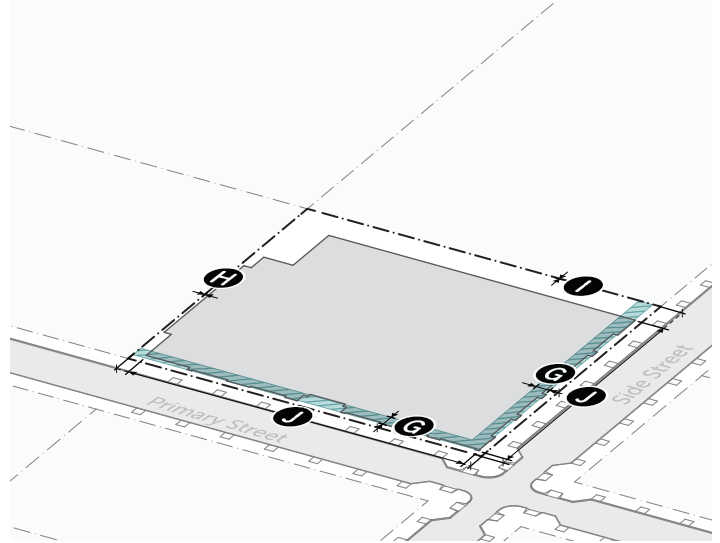
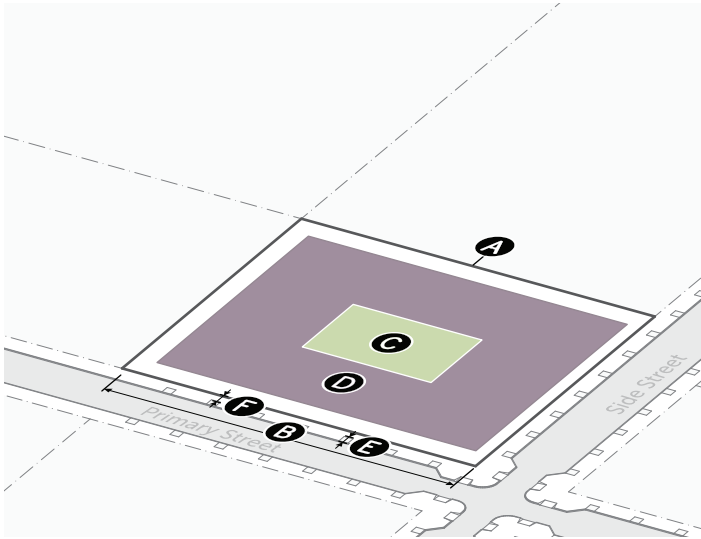


1. Massing		Sec. XX.XX.	
Building height (max stories/feet)			
<b>A</b>	Base	15 stories / 210'	
	With bonus	24 stories / 340'	
<b>B</b>	Building width (max)		
	Primary street	275'	
	Side street	275'	
	Storefront street	175'	
2. Activation		Sec. XX.XX.	
<b>C</b>	Active depth (min)		
	Primary street	20'	
	Side street	10'	
	Storefront street	30'	
3. Ground Story		Sec. XX.XX.	
		Res.	Nonres.
<b>D</b>	Ground story height (min)	10'	14'
<b>E</b>	Ground story elevation (min/max)	0' / 4'	-2' / 4'

4. Windows and Doors		Sec. XX.XX.	
		Res.	Nonres.
<b>F</b>	Ground story glazing (min)		
	Primary street	30%	50%
	Side street	25%	25%
	Storefront street	70%	70%
<b>G</b>	Upper story glazing (min)	20%	20%
<b>H</b>	Blank wall width (max)		
	Primary street	15'	15'
	Side street	25'	25'
	Storefront street	10'	10'
<b>I</b>	Street-facing entry	Required	Required
5. Fences and Walls		Sec. XX.XX.	
		Res.	Nonres.
	Front yard	Type A3	Type A1
	Side street yard	Type A3	Type A1
	Side / rear yard	Type C1	Type C1

## SEC. 2.4.7. **UG25** URBAN GENERAL 25

### A. Lot Standards

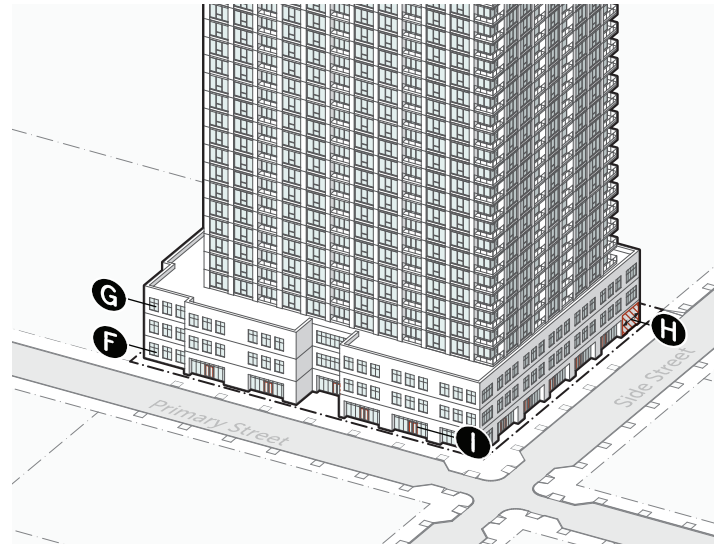
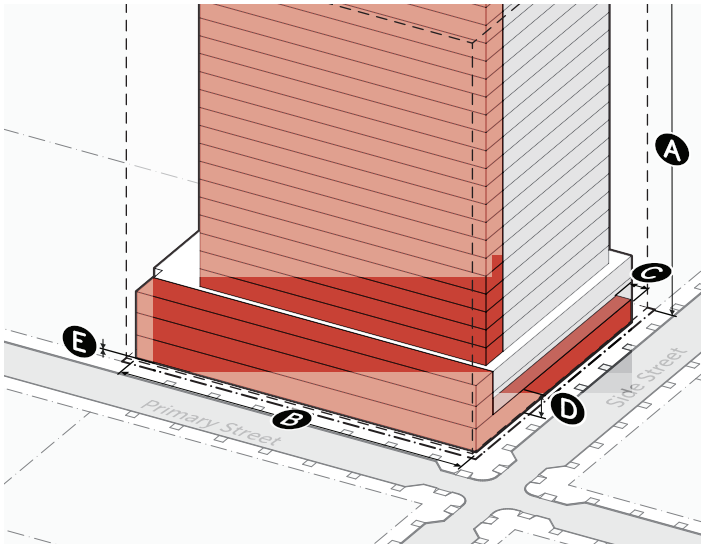


<b>1. Lot Size</b>	Sec. XX.XX.
<b>A</b> Lot area (min)	None
<b>B</b> Lot width (min)	None
<b>2. Density</b>	Sec. XX.XX.
Dwelling units per lot (max)	Unlimited
FAR (max, gross lot area)	<b>03/09/26 Correction</b>
Base	<del>5.0</del> <b>7.0</b>
With bonus	8.5
<b>3. Coverage</b>	Sec. XX.XX.
<b>C</b> Building coverage (max)	85%
<b>D</b> Outdoor amenity space (min)	
Up to 1 acre	10%
Over 1 acre	15%
<b>4. Streetscape</b>	Sec. XX.XX.
<b>E</b> Amenity zone	Required
<b>F</b> Pedestrian zone	Required
Front and side street yard landscaping	
Residential	Required
Nonresidential / storefront	Not required

<b>5. Building Setbacks</b>	Sec. XX.XX.
<b>G</b> Street setback (min/max)	
Primary street	5' / 15'
Side street	5' / 15'
Storefront street	0' / 10'
<b>H</b> Side setback (min)	0'
<b>I</b> Rear setback (min)	0'
<b>6. Transition</b>	Sec. XX.XX.
Transition type	Type A or D
<b>7. Build-To</b>	Sec. XX.XX.
<b>J</b> Build-to width (min)	
Primary street	75%
Side street	50%
Storefront street	85%
<b>8. Parking Location</b>	Sec. XX.XX.
No parking allowed between building and street	

# UG25 URBAN GENERAL 25

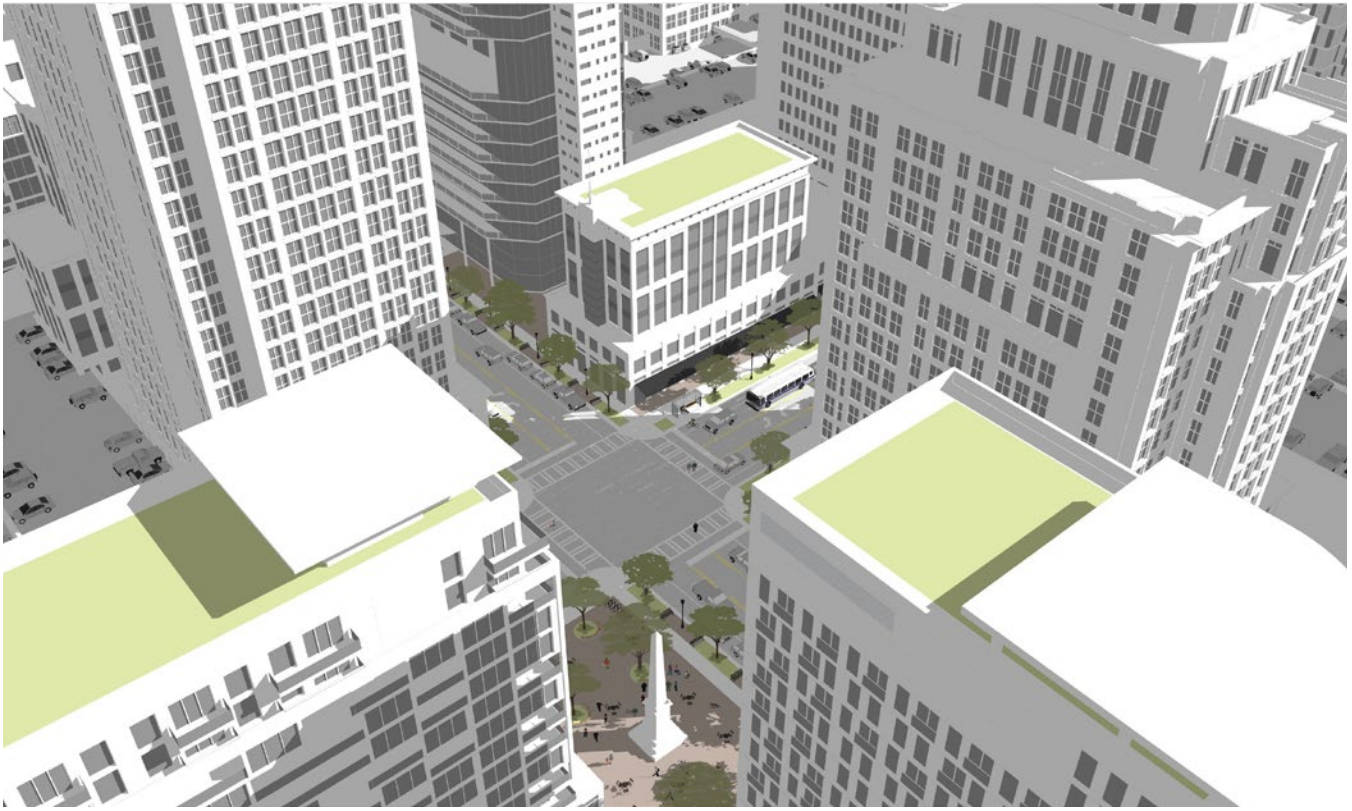
## B. Building Standards



1. Massing		Sec. XX.XX.	
Building height (max stories/feet)			
<b>A</b>	Base	25 stories / 340'	
	With bonus	35 stories / 500'	
<b>B</b>	Building width (max)		
	Primary street	275'	
	Side street	275'	
	Storefront street	175'	
2. Activation		Sec. XX.XX.	
<b>C</b>	Active depth (min)		
	Primary street	20'	
	Side street	10'	
	Storefront street	30'	
3. Ground Story		Sec. XX.XX.	
		Res.	Nonres.
<b>D</b>	Ground story height (min)	10'	14'
<b>E</b>	Ground story elevation (min/max)	0' / 4'	-2' / 4'

4. Windows and Doors		Sec. XX.XX.	
		Res.	Nonres.
<b>F</b>	Ground story glazing (min)		
	Primary street	30%	50%
	Side street	25%	25%
	Storefront street	70%	70%
<b>G</b>	Upper story glazing (min)	20%	20%
<b>H</b>	Blank wall width (max)		
	Primary street	15'	15'
	Side street	25'	25'
	Storefront street	10'	10'
<b>I</b>	Street-facing entry	Required	Required
5. Fences and Walls		Sec. XX.XX.	
		Res.	Nonres.
	Front yard	Type A3	Type A1
	Side street yard	Type A3	Type A1
	Side / rear yard	Type C1	Type C1

## DIVISION 2.5. **URBAN CORE DISTRICTS**



*Intent images are illustrative only.*

**Sec. 2.5.1. Intent**

Urban Core Form Districts are intended to accommodate the City’s highest intensity development and most mixed-use and pedestrian-friendly environments. These Form Districts require tall ground stories with large windows to accommodate retail-ready ground stories.

Urban Core Form Districts are typically paired with Use Districts that accommodate a variety of residential, retail, service, and commercial uses. Although buildings are allowed to be exclusively residential or commercial in use, a mix of uses is encouraged and intended to occur over time.

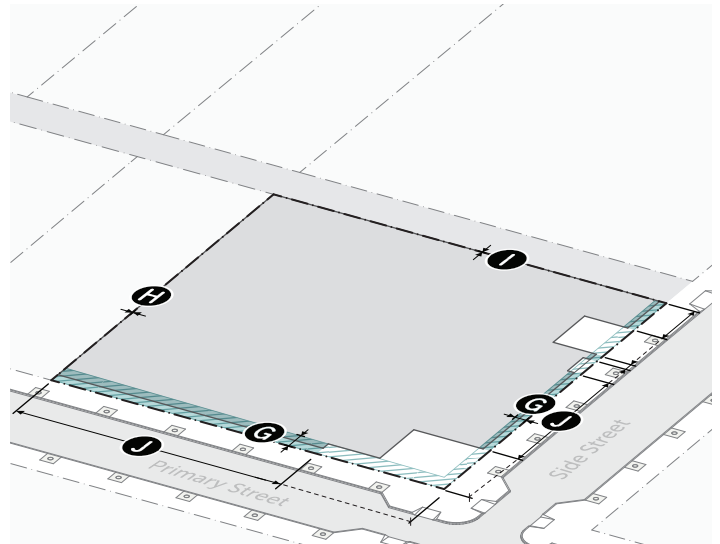
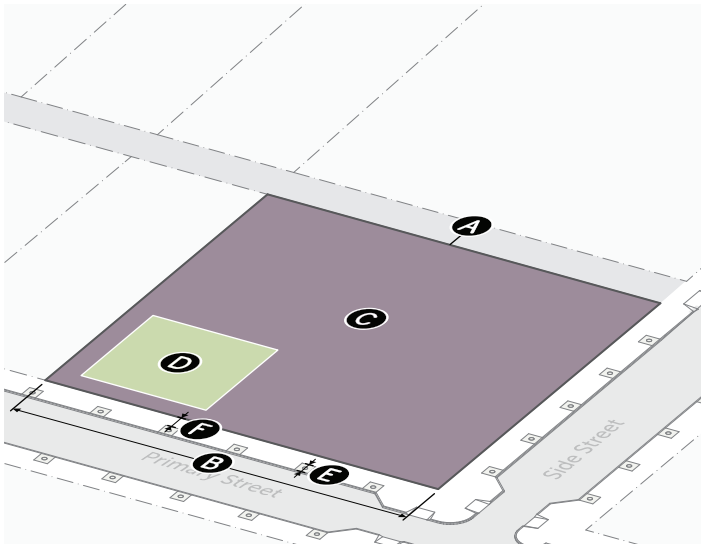
**Sec. 2.5.2. Summary of Districts**

The following table includes a summary of some requirements for each Urban Core Form District. Detailed requirements are further described in this Division.

URBAN CORE DISTRICTS					
District	Lot Area (min)	Lot Width (min)	FAR (max, gross lot area)		Height (max)
			Base	With Bonus	
UC1	None	None	7.0	11.0	Unlimited
UC2	None	None	10.0	17.0	Unlimited
UC3	None	None	10.0	20.0	Unlimited
UC4	None	None	25.0	35.0	Unlimited

## SEC. 2.5.3. UC1 URBAN CORE 1

### A. Lot Standards

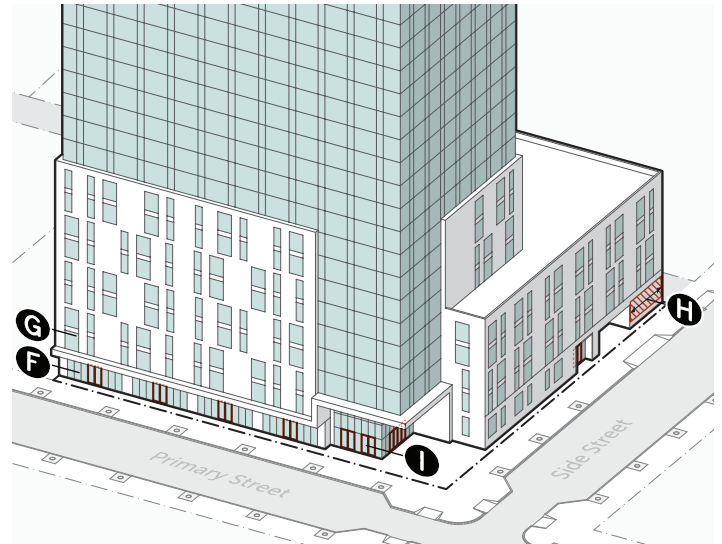
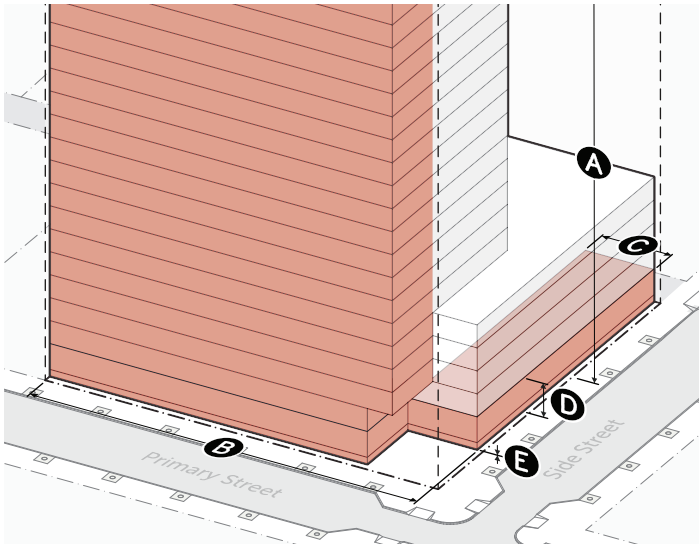


<b>1. Lot Size</b>	Sec. XX.XX.
<b>A</b> Lot area (min)	None
<b>B</b> Lot width (min)	None
<b>2. Density</b>	Sec. XX.XX.
Dwelling units per lot (max)	Unlimited
FAR (max, gross lot area)	
Base	7.0
With bonus	11.0
<b>3. Coverage</b>	Sec. XX.XX.
<b>C</b> Building coverage (max)	None
<b>D</b> Outdoor amenity space (min)	10%
<b>4. Streetscape</b>	Sec. XX.XX.
<b>E</b> Amenity zone	Required
<b>F</b> Pedestrian zone	Required
Front and side street yard landscaping	
Residential	Required
Nonresidential / storefront	Not required

<b>5. Building Setbacks</b>	Sec. XX.XX.
<b>G</b> Street setback (min/max)	0' / 15'
<b>H</b> Side setback (min)	0'
<b>I</b> Rear setback (min)	0'
<b>6. Transition</b>	Sec. XX.XX.
Transition type	Type A or D
<b>7. Build-To</b>	Sec. XX.XX.
<b>J</b> Build-to width (min)	
Primary / storefront street	85%
Side street	65%
<b>8. Parking Location</b>	Sec. XX.XX.
No parking allowed between building and street	

# UC1 URBAN CORE 1

## B. Building Standards

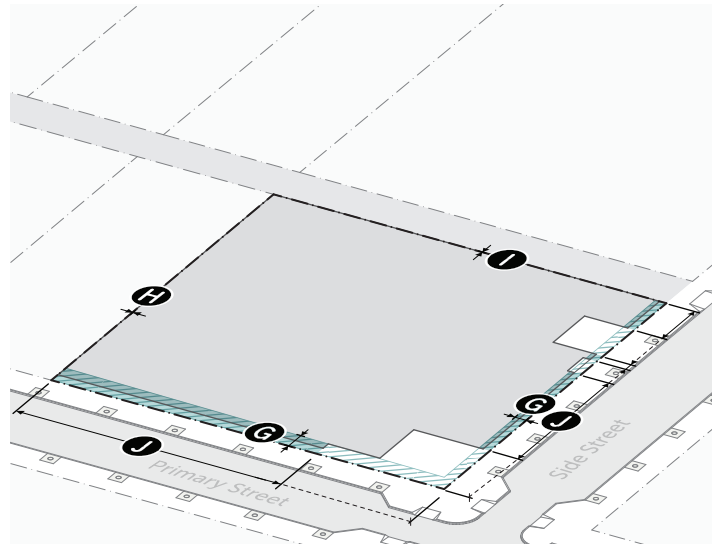
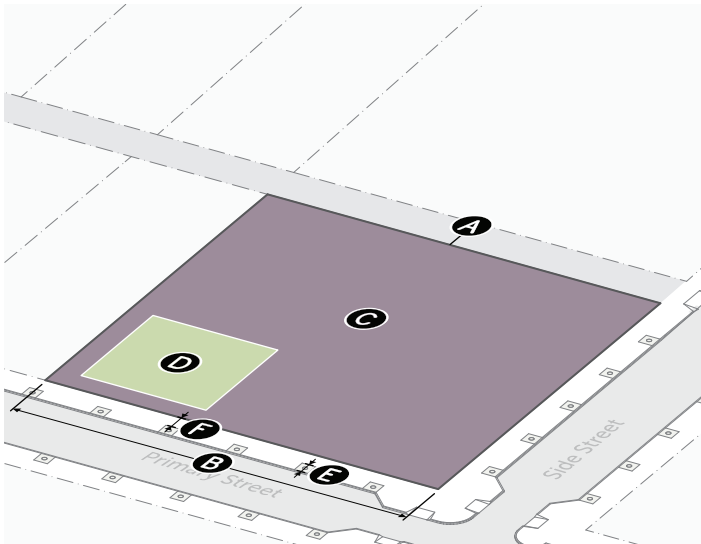


1. Massing	Sec. XX.XX.
<b>A</b> Building height (stories/feet)	
Minimum height	3 stories / 35'
Maximum height	Unlimited
<b>B</b> Building width (max)	200'
2. Activation	Sec. XX.XX.
<b>C</b> Active depth (min)	
Primary / storefront street	30'
Side street	15'
3. Ground Story	Sec. XX.XX.
<b>D</b> Ground story height (min)	14'
<b>E</b> Ground story elevation (min/max)	-2' / 4'

4. Windows and Doors	Sec. XX.XX.	
	Res.	Nonres.
<b>F</b> Ground story glazing (min)		
Primary / storefront street	70%	70%
Side street	25%	50%
<b>G</b> Upper story glazing (min)	20%	20%
<b>H</b> Blank wall width (max)		
Primary / storefront street	10'	10'
Side street	20'	20'
<b>I</b> Street-facing entry	Required	Required
5. Fences and Walls	Sec. XX.XX.	
	Res.	Nonres.
Front yard	Type A3	Type A1
Side street yard	Type A3	Type A1
Side / rear yard	Type C1	Type C1

## SEC. 2.5.4. UC2 URBAN CORE 2

### A. Lot Standards

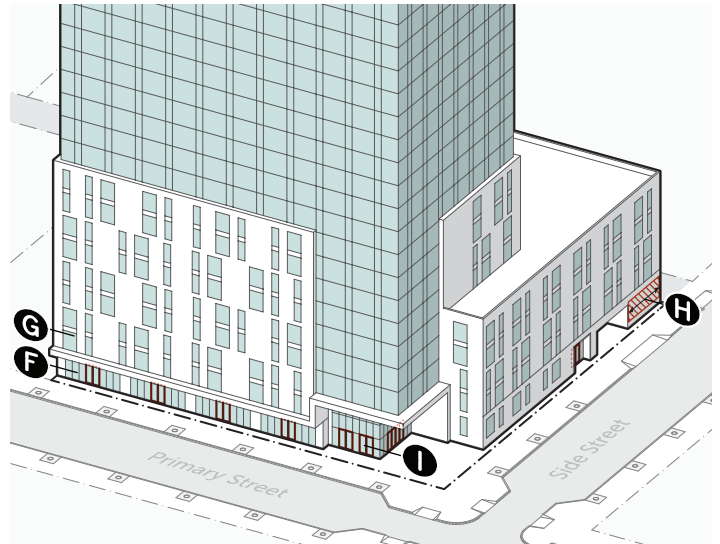
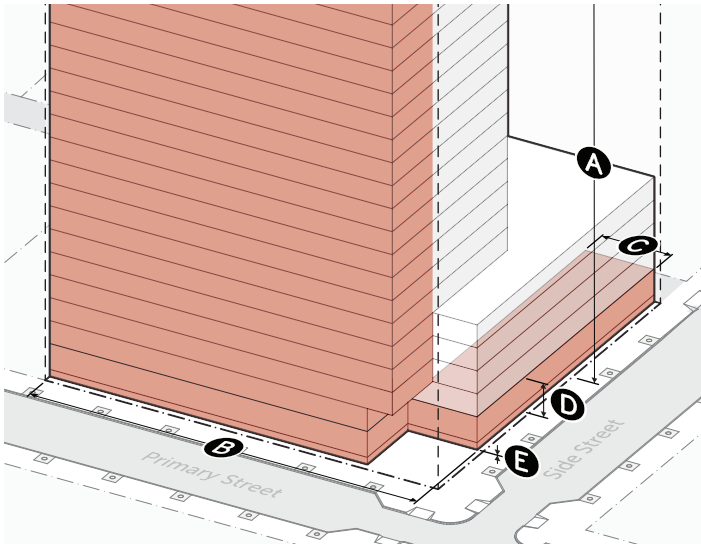


<b>1. Lot Size</b>	Sec. XX.XX.
<b>A</b> Lot area (min)	None
<b>B</b> Lot width (min)	None
<b>2. Density</b>	Sec. XX.XX.
Dwelling units per lot (max)	Unlimited
FAR (max, gross lot area)	
Base	10.0
With bonus	17.0
<b>3. Coverage</b>	Sec. XX.XX.
<b>C</b> Building coverage (max)	None
<b>D</b> Outdoor amenity space (min)	10%
<b>4. Streetscape</b>	Sec. XX.XX.
<b>E</b> Amenity zone	Required
<b>F</b> Pedestrian zone	Required
Front and side street yard landscaping	
Residential	Required
Nonresidential / storefront	Not required

<b>5. Building Setbacks</b>	Sec. XX.XX.
<b>G</b> Street setback (min/max)	0' / 15'
<b>H</b> Side setback (min)	0'
<b>I</b> Rear setback (min)	0'
<b>6. Transition</b>	Sec. XX.XX.
Transition type	Type A or D
<b>7. Build-To</b>	Sec. XX.XX.
<b>J</b> Build-to width (min)	
Primary / storefront street	85%
Side street	65%
<b>8. Parking Location</b>	Sec. XX.XX.
No parking allowed between building and street	

# UC2 URBAN CORE 2

## B. Building Standards

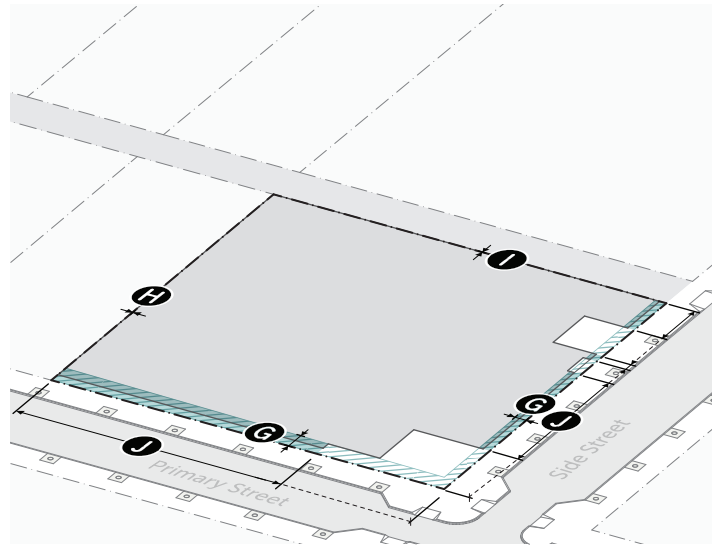
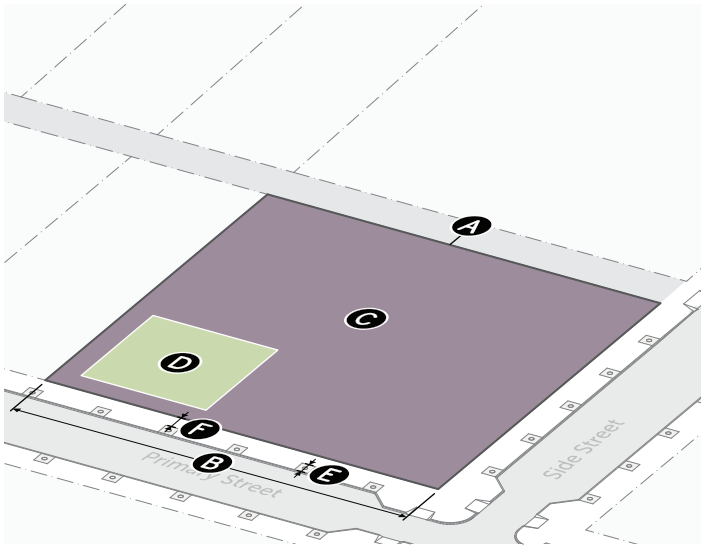


1. Massing		Sec. XX.XX.
<b>A</b> Building height (stories/feet)		
Minimum height		3 stories / 35'
Maximum height		Unlimited
<b>B</b> Building width (max)		200'
2. Activation		Sec. XX.XX.
<b>C</b> Active depth (min)		
Primary / storefront street		30'
Side street		15'
3. Ground Story		Sec. XX.XX.
<b>D</b> Ground story height (min)		14'
<b>E</b> Ground story elevation (min/max)		-2' / 4'

4. Windows and Doors		Sec. XX.XX.	
		Res.	Nonres.
<b>F</b> Ground story glazing (min)			
Primary / storefront street		70%	70%
Side street		25%	50%
<b>G</b> Upper story glazing (min)		20%	20%
<b>H</b> Blank wall width (max)			
Primary / storefront street		10'	10'
Side street		20'	20'
<b>I</b> Street-facing entry		Required	Required
5. Fences and Walls		Sec. XX.XX.	
		Res.	Nonres.
Front yard		Type A3	Type A1
Side street yard		Type A3	Type A1
Side / rear yard		Type C1	Type C1

## SEC. 2.5.5. **UC3** URBAN CORE 3

### A. Lot Standards

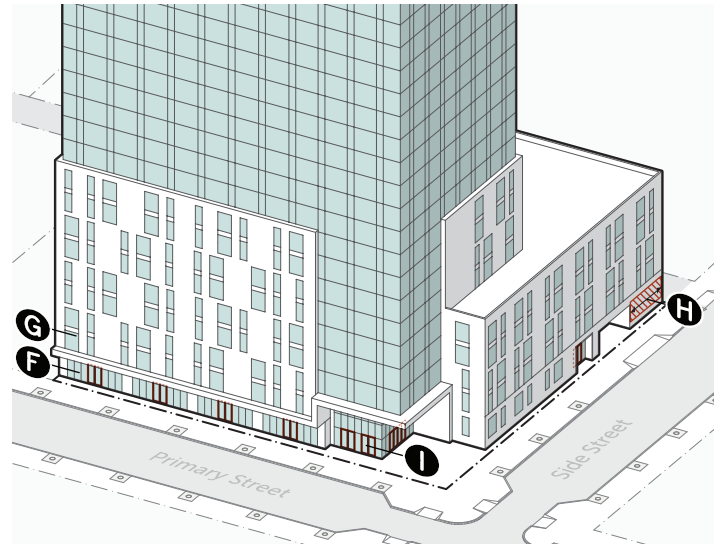
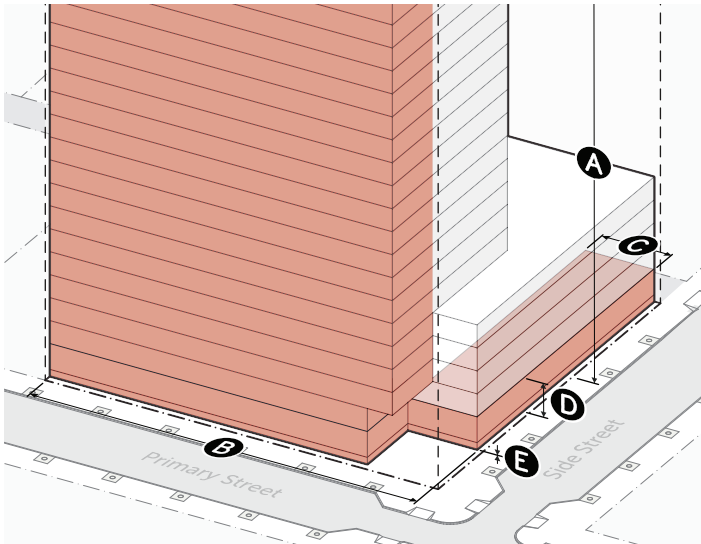


<b>1. Lot Size</b>	Sec. XX.XX.
<b>A</b> Lot area (min)	None
<b>B</b> Lot width (min)	None
<b>2. Density</b>	Sec. XX.XX.
Dwelling units per lot (max)	Unlimited
FAR (max, gross lot area)	
Base	10.0
With bonus	20.0
<b>3. Coverage</b>	Sec. XX.XX.
<b>C</b> Building coverage (max)	None
<b>D</b> Outdoor amenity space (min)	10%
<b>4. Streetscape</b>	Sec. XX.XX.
<b>E</b> Amenity zone	Required
<b>F</b> Pedestrian zone	Required
Front and side street yard landscaping	
Residential	Required
Nonresidential / storefront	Not required

<b>5. Building Setbacks</b>	Sec. XX.XX.
<b>G</b> Street setback (min/max)	0' / 15'
<b>H</b> Side setback (min)	0'
<b>I</b> Rear setback (min)	0'
<b>6. Build-To</b>	Sec. XX.XX.
<b>J</b> Build-to width (min)	
Primary / storefront street	85%
Side street	65%
<b>7. Parking Location</b>	Sec. XX.XX.
No parking allowed between building and street	

# UC3 URBAN CORE 3

## B. Building Standards

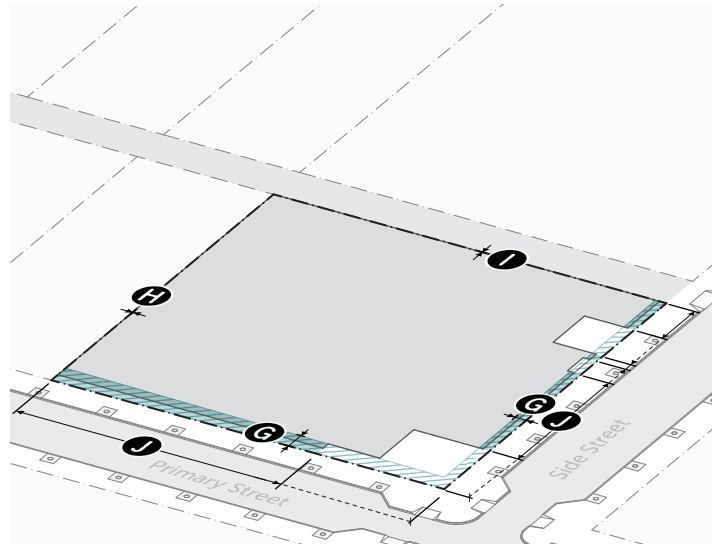
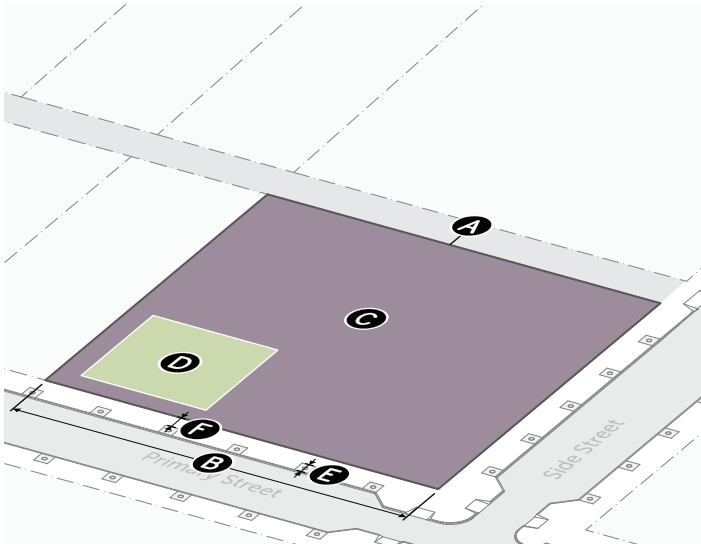


1. Massing		Sec. XX.XX.
<b>A</b> Building height (stories/feet)		
Minimum height		3 stories / 35'
Maximum height		Unlimited
<b>B</b> Building width (max)		200'
2. Activation		Sec. XX.XX.
<b>C</b> Active depth (min)		
Primary / storefront street		30'
Side street		15'
3. Ground Story		Sec. XX.XX.
<b>D</b> Ground story height (min)		14'
<b>E</b> Ground story elevation (min/max)		-2' / 4'

4. Windows and Doors		Sec. XX.XX.	
		Res.	Nonres.
<b>F</b> Ground story glazing (min)			
Primary / storefront street		70%	70%
Side street		25%	50%
<b>G</b> Upper story glazing (min)		20%	20%
<b>H</b> Blank wall width (max)			
Primary / storefront street		10'	10'
Side street		20'	20'
<b>I</b> Street-facing entry		Required	Required
5. Fences and Walls		Sec. XX.XX.	
		Res.	Nonres.
Front yard		Type A3	Type A1
Side street yard		Type A3	Type A1
Side / rear yard		Type C1	Type C1

## SEC. 2.5.6. **UC4** URBAN CORE 4

### A. Lot Standards

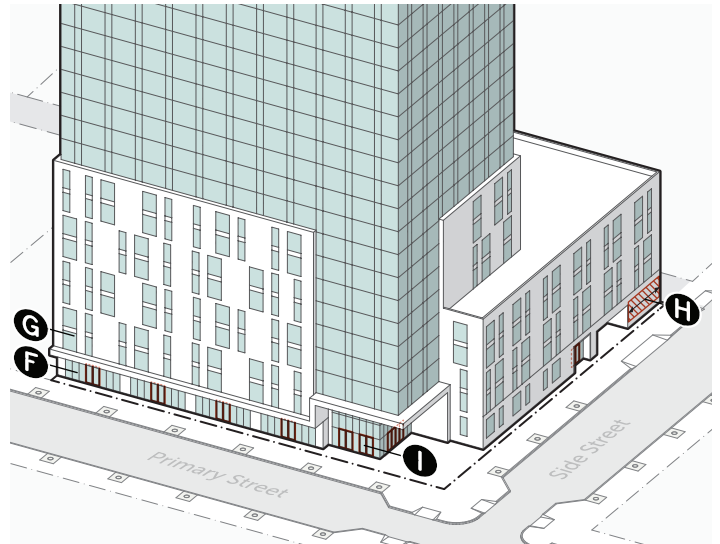
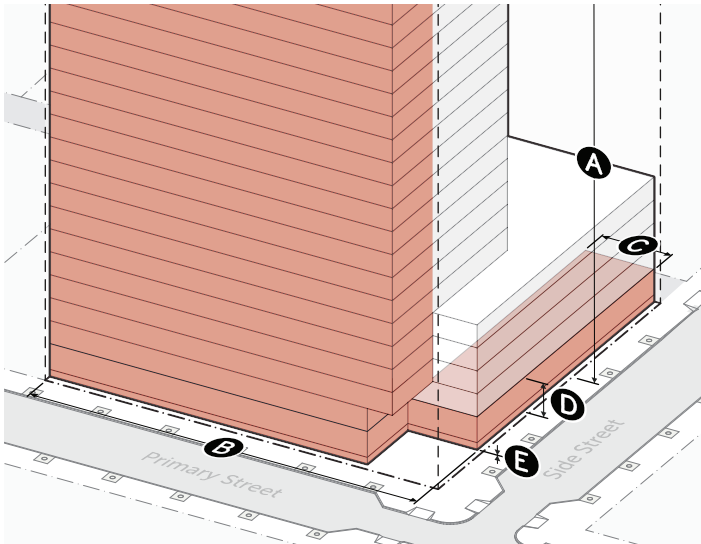


<b>1. Lot Size</b>	Sec. XX.XX.
<b>A</b> Lot area (min)	None
<b>B</b> Lot width (min)	None
<b>2. Density</b>	Sec. XX.XX.
Dwelling units per lot (max)	Unlimited
FAR (max, gross lot area)	
Base	25.0
With bonus	35.0
<b>3. Coverage</b>	Sec. XX.XX.
<b>C</b> Building coverage (max)	None
<b>D</b> Outdoor amenity space (min)	10%
<b>4. Streetscape</b>	Sec. XX.XX.
<b>E</b> Amenity zone	Required
<b>F</b> Pedestrian zone	Required
Front and side street yard landscaping	
Residential	Required
Nonresidential / storefront	Not required

<b>5. Building Setbacks</b>	Sec. XX.XX.
<b>G</b> Street setback (min/max)	0' / 15'
<b>H</b> Side setback (min)	0'
<b>I</b> Rear setback (min)	0'
<b>6. Build-To</b>	Sec. XX.XX.
<b>J</b> Build-to width (min)	
Primary / storefront street	85%
Side street	65%
<b>7. Parking Location</b>	Sec. XX.XX.
No parking allowed between building and street	

# UC4 URBAN CORE 4

## B. Building Standards



<b>1. Massing</b>		Sec. XX.XX.
<b>A</b> Building height (stories/feet)		
Minimum height		3 stories / 35'
Maximum height		Unlimited
<b>B</b> Building width (max)		200'
<b>2. Activation</b>		Sec. XX.XX.
<b>C</b> Active depth (min)		
Primary / storefront street		30'
Side street		15'
<b>3. Ground Story</b>		Sec. XX.XX.
<b>D</b> Ground story height (min)		14'
<b>E</b> Ground story elevation (min/max)		-2' / 4'

<b>4. Windows and Doors</b>		Sec. XX.XX.	
		Res.	Nonres.
<b>F</b> Ground story glazing (min)			
Primary / storefront street		70%	70%
Side street		25%	50%
<b>G</b> Upper story glazing (min)		20%	20%
<b>H</b> Blank wall width (max)			
Primary / storefront street		10'	10'
Side street		20'	20'
<b>I</b> Street-facing entry		Required	Required
<b>5. Fences and Walls</b>		Sec. XX.XX.	
		Res.	Nonres.
Front yard		Type A3	Type A1
Side street yard		Type A3	Type A1
Side / rear yard		Type C1	Type C1

## DIVISION 2.6. **WORKPLACE FLEX DISTRICTS**



*Intent images are illustrative only.*

### Sec. 2.6.1. Intent

Workplace Flex Form Districts are intended to accommodate a variety building types that are typically moderate- to higher-intensity and in areas that are intended to become more vibrant pedestrian-friendly environments. These Form Districts require tall ground floors to accommodate a variety of uses on the ground story.

Workplace Flex Form Districts are typically paired with Use Districts that allow low-impact industrial and manufacturing uses while also allowing for residential opportunities and retail, service, and commercial activities in a vibrant, pedestrian-friendly environment.

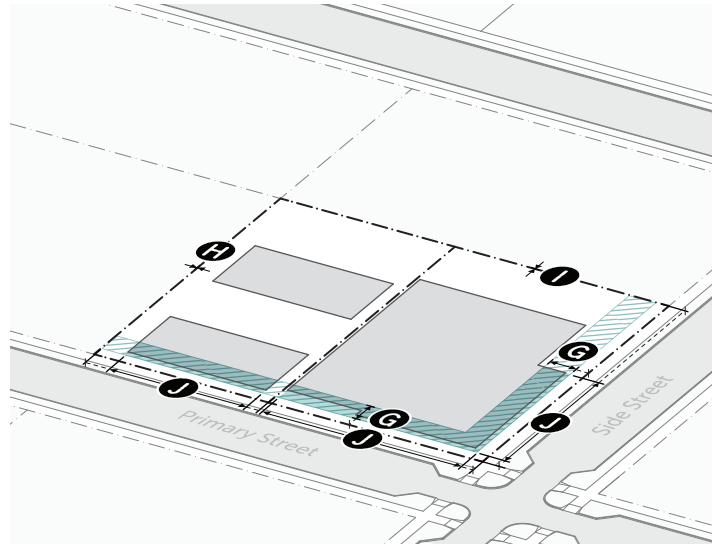
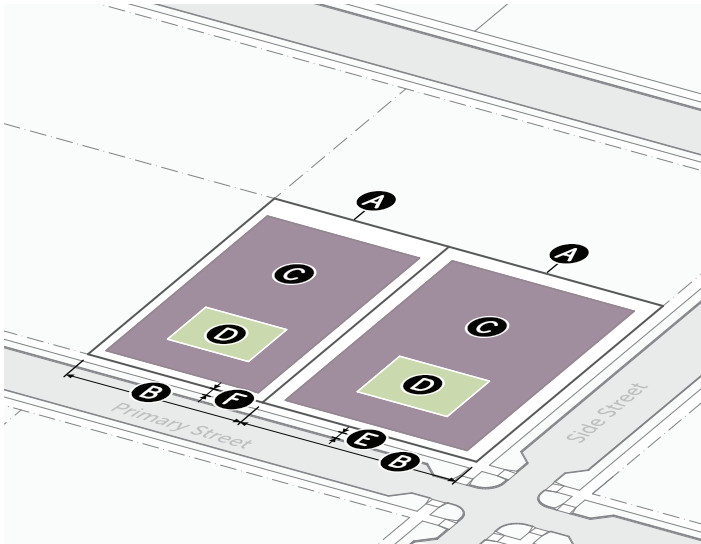
### Sec. 2.6.2. Summary of Districts

The following table includes a summary of some requirements for each Workplace Flex Form District. Detailed requirements are further described in this Division.

WORKPLACE FLEX DISTRICTS				
District	Lot Area (min)	Lot Width (min)	FAR (max, gross lot area)	Height (max)
WX5A	None	None	2.0	5 stories / 65'
WX5B	None	None	3.5	5 stories / 65'
WX15	None	None	3.5	15 stories / 210'

## SEC. 2.6.3. **WX5** WORKPLACE FLEX 5

### A. Lot Standards

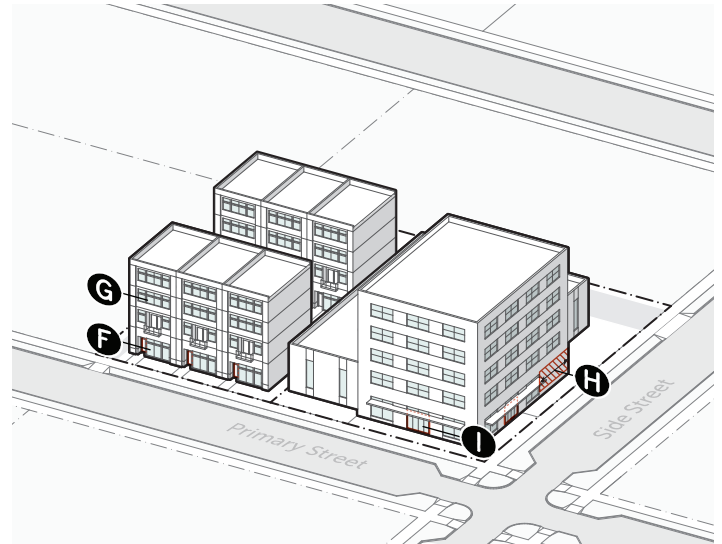
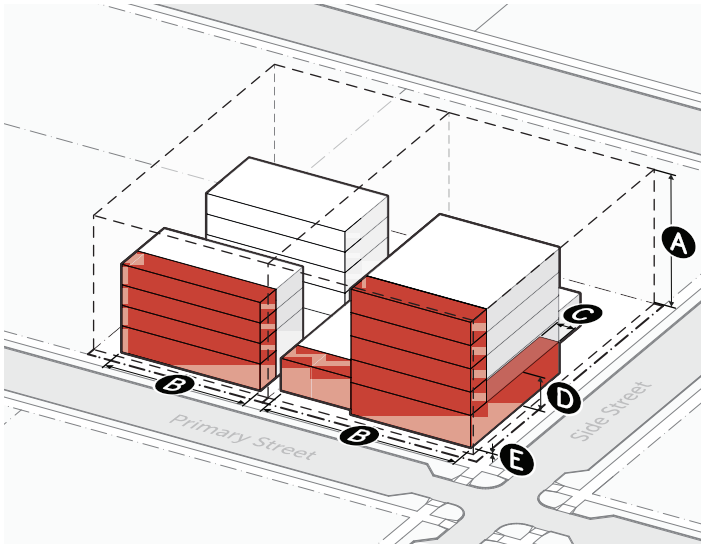


<b>1. Lot Size</b>	Sec. XX.XX.	
<b>A</b> Lot area (min)	None	
<b>B</b> Lot width (min)	None	
<b>2. Density</b>	Sec. XX.XX.	
	<b>WX5A</b>	<b>WX5B</b>
Dwelling units per lot (max)	Unlimited	Unlimited
FAR (max, gross lot area)	2.0	3.5
<b>3. Coverage</b>	Sec. XX.XX.	
<b>C</b> Building coverage (max)	85%	
<b>D</b> Outdoor amenity space (min)	10%	
<b>4. Streetscape</b>	Sec. XX.XX.	
<b>E</b> Amenity zone	Required	
<b>F</b> Pedestrian zone	Required	
Front and side street yard landscaping		
Residential	Required	
Industrial	Required	
Other uses / storefront	Not required	

<b>5. Building Setbacks</b>	Sec. XX.XX.	
<b>G</b> Street setback (min/max)		
Primary / storefront street	5' / 20'	
Side street	5' / 20'	
<b>H</b> Side setback (min)	0'	
<b>I</b> Rear setback (min)	0'	
<b>6. Transition</b>	Sec. XX.XX.	
Transition type	Type A or B	
<b>7. Build-To</b>	Sec. XX.XX.	
<b>J</b> Build-to width (min)		
Primary / storefront street	75%	
Side street	45%	
<b>8. Parking Location</b>	Sec. XX.XX.	
No parking allowed between building and street		

# WX5 WORKPLACE FLEX 5

## B. Building Standards

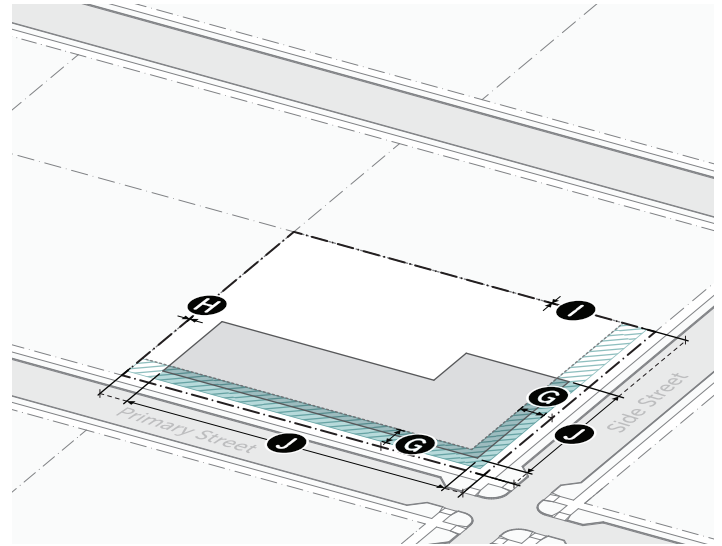
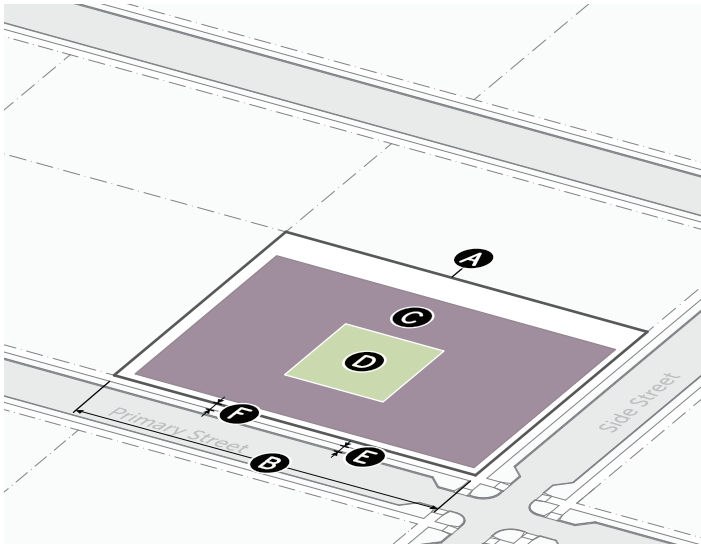


<b>1. Massing</b>	Sec. XX.XX.
<b>A</b> Building height (max stories/feet)	5 stories / 65'
<b>B</b> Building width (max)	275'
<b>2. Activation</b>	Sec. XX.XX.
<b>C</b> Active depth (min)	
Primary / storefront street	20'
Side street	10'
<b>3. Ground Story</b>	Sec. XX.XX.
<b>D</b> Ground story height (min)	14'
<b>E</b> Ground story elevation (min/max)	-2' / 4'

<b>4. Windows and Doors</b>	Sec. XX.XX.		
	<b>Res.</b>	<b>Ind.</b>	<b>Other</b>
<b>F</b> Ground story glazing (min)			
Primary / storefront street	30%	30%	65%
Side street	25%	15%	25%
<b>G</b> Upper story glazing (min)	20%	None	20%
<b>H</b> Blank wall width (max)			
Primary / storefront street	20'	75'	20'
Side street	40'	75'	40'
<b>I</b> Street-facing entry	Req'd	Req'd	Req'd
<b>5. Fences and Walls</b>	Sec. XX.XX.		
	<b>Res.</b>	<b>Ind.</b>	<b>Other</b>
Front yard	Typ. A3	Typ. A4	Typ. A1
Side street yard	Typ. A3	Typ. A4	Typ. A1
Side / rear yard	Typ. C1	Typ. C2	Typ. C1

## SEC. 2.6.4. **WX15** WORKPLACE FLEX 15

### A. Lot Standards

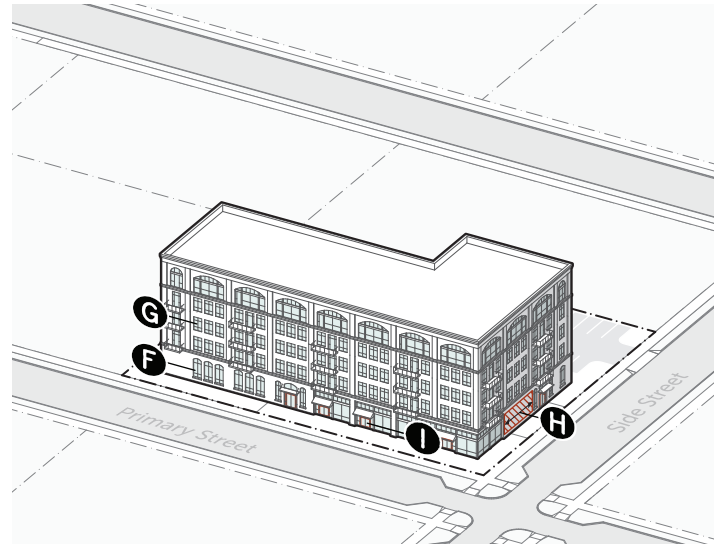
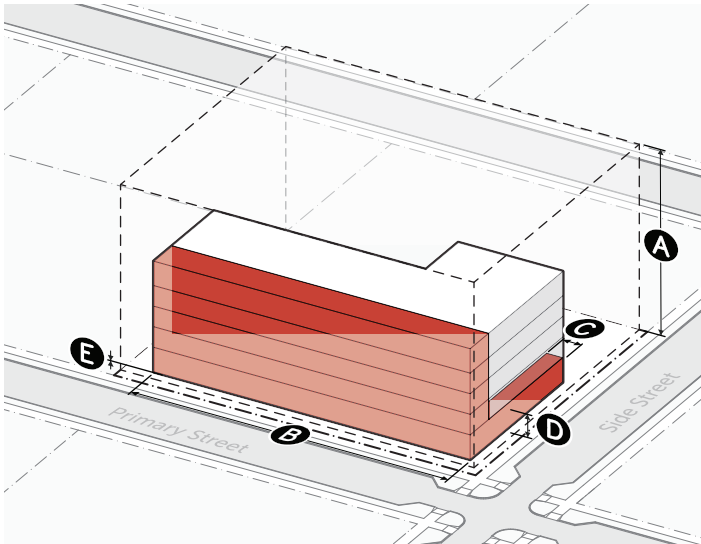


<b>1. Lot Size</b>	Sec. XX.XX.
<b>A</b> Lot area (min)	None
<b>B</b> Lot width (min)	None
<b>2. Density</b>	Sec. XX.XX.
Dwelling units per lot (max)	Unlimited
FAR (max, gross lot area)	3.5
<b>3. Coverage</b>	Sec. XX.XX.
<b>C</b> Building coverage (max)	85%
<b>D</b> Outdoor amenity space (min)	10%
<b>4. Streetscape</b>	Sec. XX.XX.
<b>E</b> Amenity zone	Required
<b>F</b> Pedestrian zone	Required
Front and side street yard landscaping	
Residential	Required
Industrial	Required
Other uses / storefront	Not required

<b>5. Building Setbacks</b>	Sec. XX.XX.
<b>G</b> Street setback (min/max)	
Primary / storefront street	5' / 20'
Side street	5' / 20'
<b>H</b> Side setback (min)	0'
<b>I</b> Rear setback (min)	0'
<b>6. Transition</b>	Sec. XX.XX.
Transition type	Type A or D
<b>7. Build-To</b>	Sec. XX.XX.
<b>J</b> Build-to width (min)	
Primary / storefront street	75%
Side street	45%
<b>8. Parking Location</b>	Sec. XX.XX.
No parking allowed between building and street	

# WX15 WORKPLACE FLEX 15

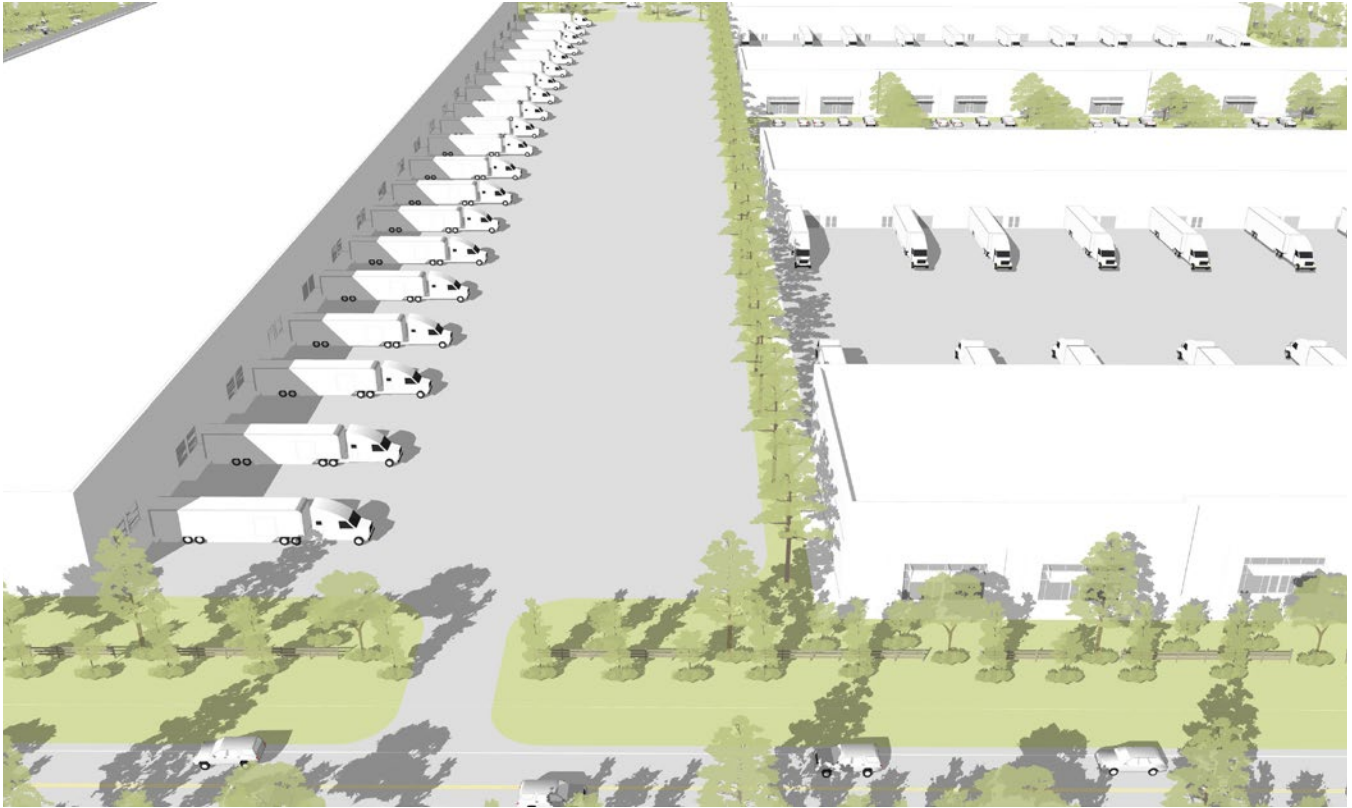
## B. Building Standards



1. Massing		Sec. XX.XX.
A	Building height (max stories/feet)	15 stories / 210'
B	Building width (max)	275'
2. Activation		Sec. XX.XX.
C	Active depth (min)	
	Primary / storefront street	20'
	Side street	10'
3. Ground Story		Sec. XX.XX.
D	Ground story height (min)	14'
E	Ground story elevation (min/max)	-2' / 4'

4. Windows and Doors		Sec. XX.XX.		
		Res.	Ind.	Other
F	Ground story glazing (min)			
	Primary / storefront street	30%	30%	65%
	Side street	25%	15%	25%
G	Upper story glazing (min)	20%	None	20%
H	Blank wall width (max)			
	Primary / storefront street	20'	75'	20'
	Side street	40'	75'	40'
I	Street-facing entry	Req'd	Req'd	Req'd
5. Fences and Walls		Sec. XX.XX.		
		Res.	Ind.	Other
	Front yard	Typ. A3	Typ. A4	Typ. A1
	Side street yard	Typ. A3	Typ. A4	Typ. A1
	Side / rear yard	Typ. C1	Typ. C2	Typ. C1

## DIVISION 2.7. **WORKPLACE DISTRICTS**



*Intent images are illustrative only.*

### Sec. 2.7.1. Intent

Workplace Form Districts are intended to accommodate larger-footprint buildings generally in auto-oriented areas with limited walkability to residential, retail, service, and other commercial uses.

Workplace Form Districts are generally paired with Use Districts that allow a range of commercial and industrial activities, including those where outdoor storage is needed.

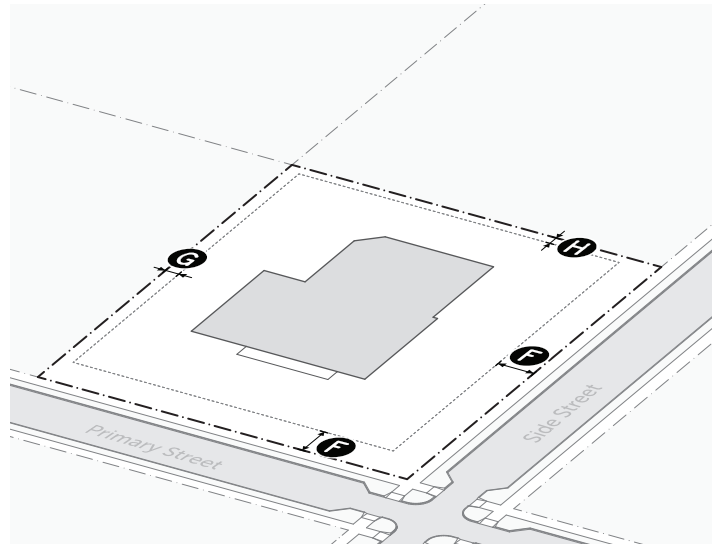
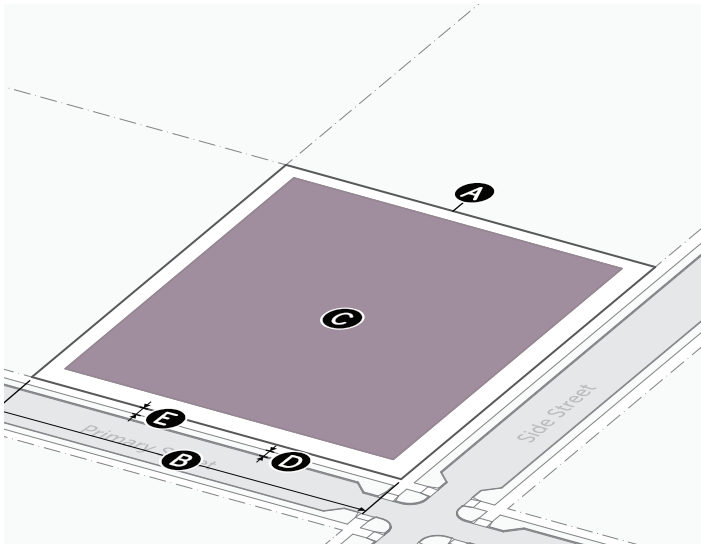
### Sec. 2.7.2. Summary of Districts

The following table includes a summary of some requirements for each Workplace Form District. Detailed requirements are further described in this Division.

WORKPLACE FLEX DISTRICTS				
District	Lot Area (min)	Lot Width (min)	FAR (max, gross lot area)	Height (max)
W1	None	None	2.0	Unlimited

## SEC. 2.7.3. **W1** WORKPLACE 1

### A. Lot Standards

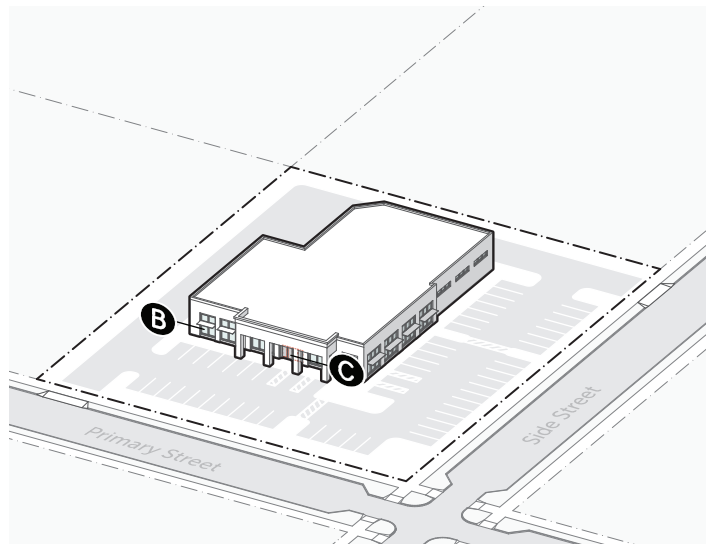
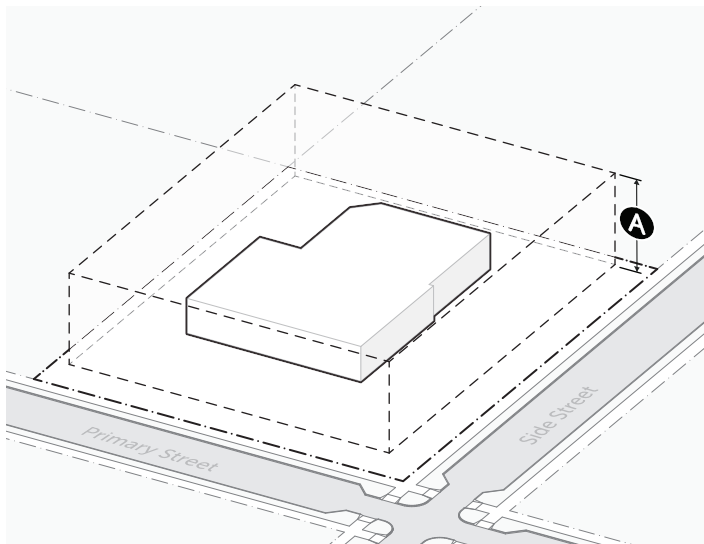


<b>1. Lot Size</b>	Sec. XX.XX.
<b>A</b> Lot area (min)	None
<b>B</b> Lot width (min)	None
<b>2. Density</b>	Sec. XX.XX.
Dwelling units per lot (max)	Not allowed
FAR (max, gross lot area)	2.0
<b>3. Coverage</b>	Sec. XX.XX.
<b>C</b> Building coverage (max)	80%
<b>4. Streetscape</b>	Sec. XX.XX.
<b>D</b> Amenity zone	Required
<b>E</b> Pedestrian zone	Required

<b>5. Building Setbacks</b>	Sec. XX.XX.
<b>F</b> Street setback (min)	
Primary street	30'
Side street	15'
<b>G</b> Side setback (min)	0'
<b>H</b> Rear setback (min)	5'
<b>6. Transition</b>	Sec. XX.XX.
Transition type	Type A or D
<b>7. Parking Location</b>	Sec. XX.XX.
Front yard	Allowed
Side street yard	Allowed
Side / rear yard	Allowed

# W1 WORKPLACE 1

## B. Building Standards



1. Massing	Sec. XX.XX.
Ⓐ Building height (max)	Unlimited
Building width (max)	Unlimited

2. Windows and Doors	Sec. XX.XX.
Ⓑ Ground story glazing (min)	
Primary street	30%
Side street	15%
Upper story glazing (min)	None
Blank wall width (max)	None
Ⓒ Street-facing entry	Required
3. Fences and Walls	Sec. XX.XX.
Front yard	Type A4
Side street yard	Type A4
Side / rear yard	Type C2

## DIVISION 2.8. **SPECIAL DISTRICTS**



*Intent images are illustrative only.*

### Sec. 2.8.1. Intent

Special Form Districts are intended to accommodate a mix of building types that serve the surrounding neighborhoods and produce activities that do not readily assimilate into other districts. Campus (CM) is intended for campus-like settings with larger lots, more open space, and larger buildings, and allows for activities including mixed employment and technology hubs and hospitals. Civic (CV) is intended for public, civic, and institutional uses. Park (PK) is intended to create, preserve, and enhance parkland and environmentally sensitive areas.

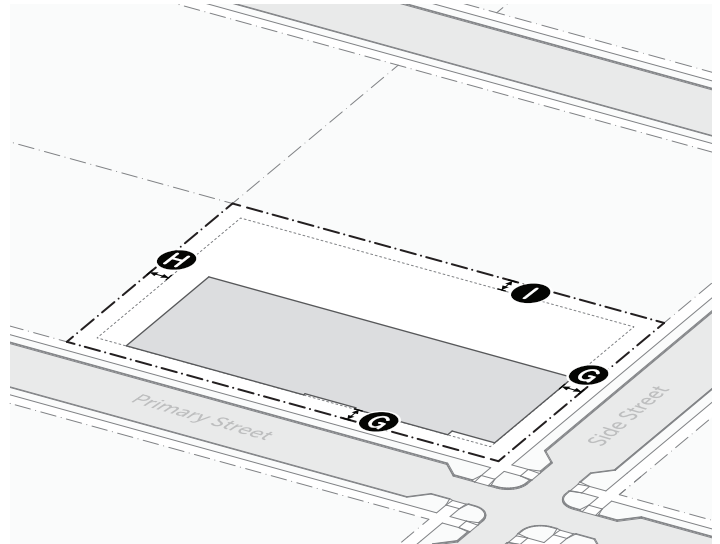
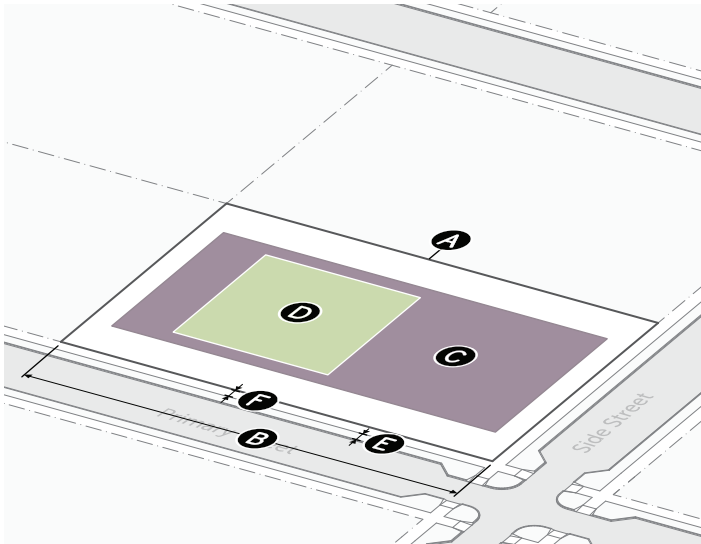
### Sec. 2.8.2. Summary of Districts

The following table includes a summary of some requirements for each Special Form District. Detailed requirements are further described in this Division.

SPECIAL DISTRICTS				
District	Lot Area (min)	Lot Width (min)	FAR (max, gross lot area)	Height (max)
CM	None	100'	6.0	Unlimited
CV	10,000 sf	50'	None	5 stories / 70'
PK	None	None	None	35'

## SEC. 2.8.3. **CM** CAMPUS

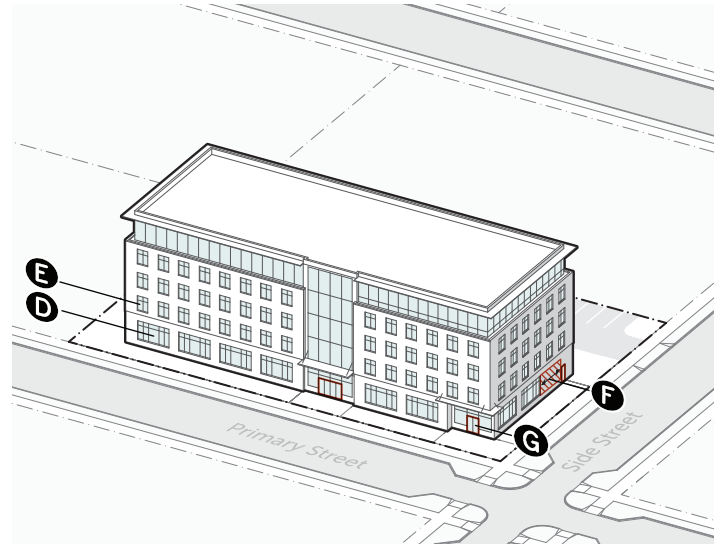
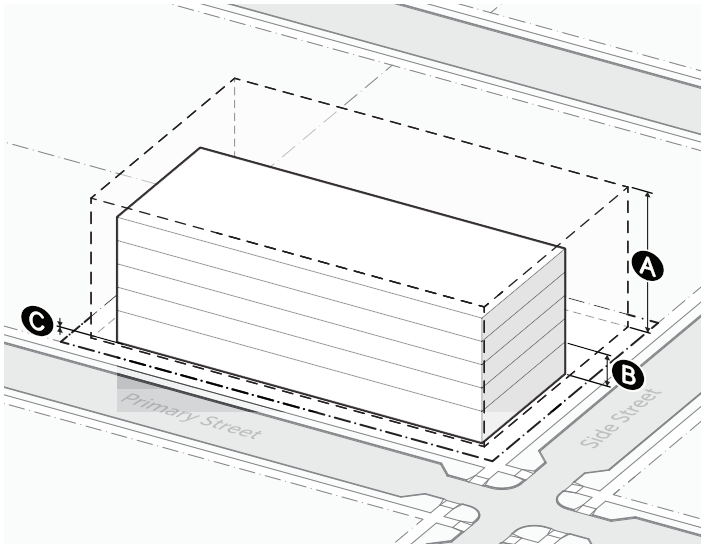
### A. Lot Standards



<b>1. Lot Size</b>	Sec. XX.XX.
<b>A</b> Lot area (min)	None
<b>B</b> Lot width (min)	100'
<b>2. Density</b>	Sec. XX.XX.
Dwelling units per lot (max)	Unlimited
FAR (max, gross lot area)	6.0
<b>3. Coverage</b>	Sec. XX.XX.
<b>C</b> Building coverage (max)	80%
<b>D</b> Outdoor amenity space (min)	20%
<b>4. Streetscape</b>	Sec. XX.XX.
<b>E</b> Amenity zone	Required
<b>F</b> Pedestrian zone	Required

<b>5. Building Setbacks</b>	Sec. XX.XX.
<b>G</b> Street setback (min)	
Primary / storefront street	10'
Side street	10'
<b>H</b> Side setback (min)	10'
<b>I</b> Rear setback (min)	10'
<b>6. Transition</b>	Sec. XX.XX.
Transition type	Type A or B
<b>7. Parking Location</b>	Sec. XX.XX.
Front yard	Not allowed
Side street yard	Allowed
Side / rear yard	Allowed

## B. Building Standards

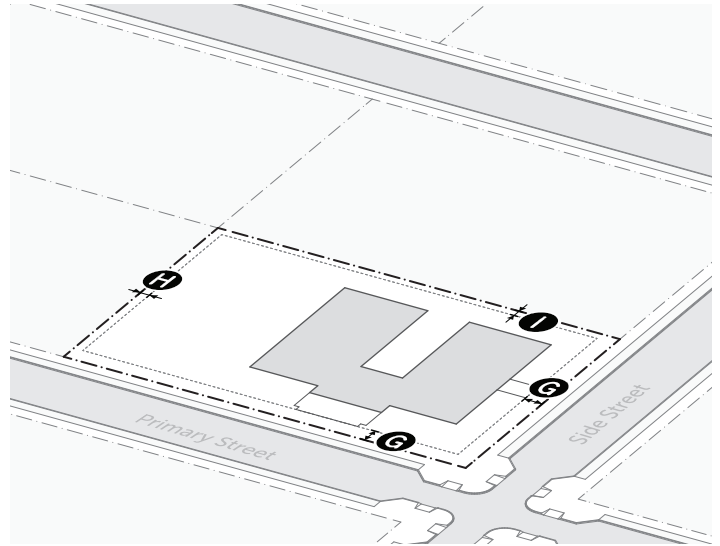
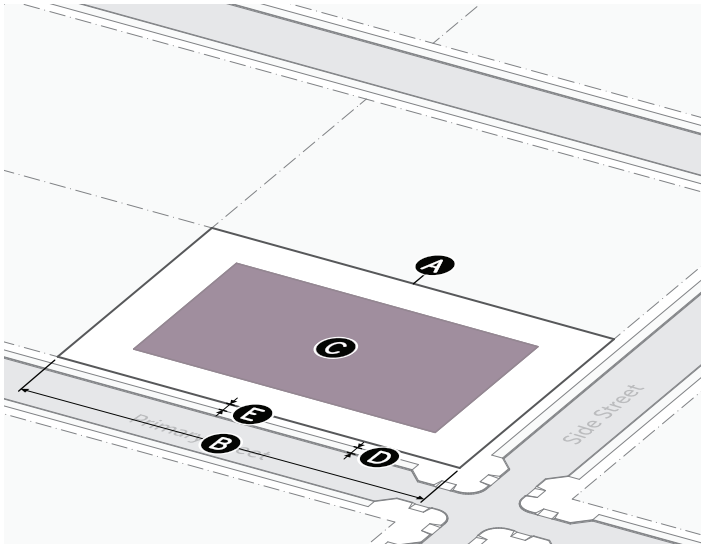


<b>1. Massing</b>	Sec. XX.XX.
<b>A</b> Building height (max)	Unlimited
Building width (max)	Unlimited
<b>2. Ground Story</b>	Sec. XX.XX.
<b>B</b> Ground story height (min)	10'
<b>C</b> Ground story elevation (min/max)	-2' / 4'

<b>3. Windows and Doors</b>	Sec. XX.XX.
<b>D</b> Ground story glazing (min)	30%
<b>E</b> Upper story glazing (min)	15%
<b>F</b> Blank wall width (max)	
Primary / storefront street	25'
Side street	50'
<b>G</b> Street-facing entry	Required
<b>4. Fences and Walls</b>	Sec. XX.XX.
Front yard	Type A4
Side street yard	Type A4
Side / rear yard	Type C2

## SEC. 2.8.4. CV CIVIC

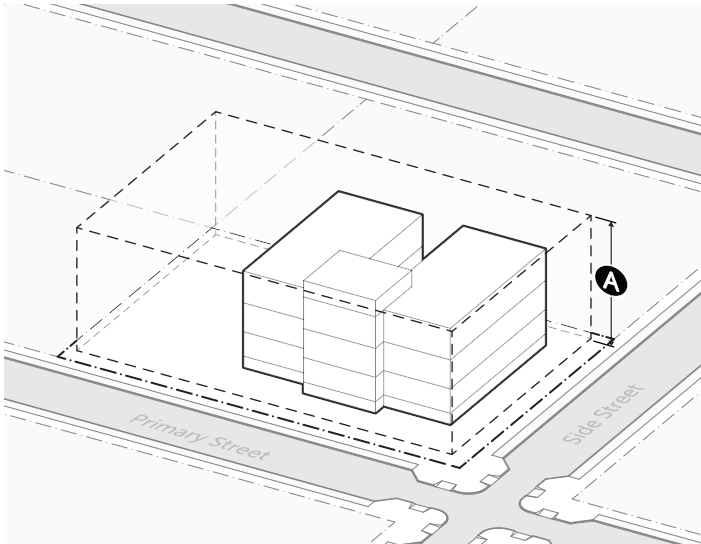
### A. Lot Standards



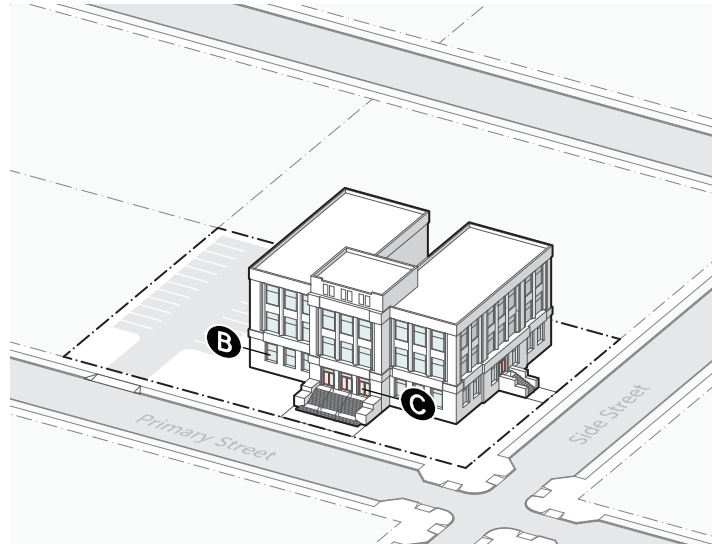
<b>1. Lot Size</b>	Sec. XX.XX.
<b>A</b> Lot area (min)	10,000 sf
<b>B</b> Lot width (min)	50'
<b>2. Density</b>	Sec. XX.XX.
Dwelling units per lot (max)	Not allowed
<b>3. Coverage</b>	Sec. XX.XX.
<b>C</b> Building coverage (max)	50%
<b>4. Streetscape</b>	Sec. XX.XX.
<b>D</b> Amenity zone	Required
<b>E</b> Pedestrian zone	Required

<b>5. Building Setbacks</b>	Sec. XX.XX.
<b>F</b> Street setback (min)	
Primary / storefront street	10'
Side street	10'
<b>G</b> Side setback (min)	5'
<b>H</b> Rear setback (min)	5'
<b>6. Transition</b>	Sec. XX.XX.
Transition type	Type A or B
<b>7. Parking Location</b>	Sec. XX.XX.
Front yard	Not allowed
Side street yard	Allowed
Side / rear yard	Allowed

## B. Building Standards



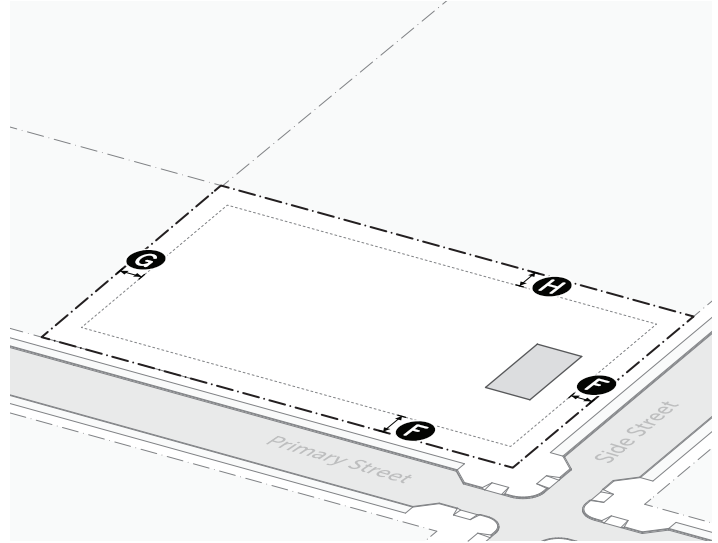
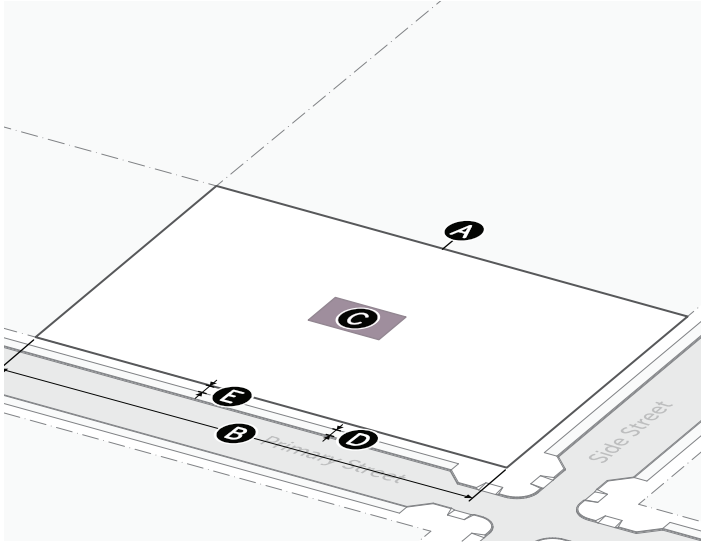
1. Massing	Sec. XX.XX.
Ⓐ Building height (max stories/feet)	5 stories / 68'
Building width (max)	Unlimited



2. Windows and Doors	Sec. XX.XX.
Ⓑ Ground story glazing (min)	20%
Upper story glazing (min)	None
Blank wall width (max)	None
Ⓒ Street-facing entry	Required
3. Fences and Walls	Sec. XX.XX.
Front yard	Type A4
Side street yard	Type A4
Side / rear yard	Type C1

## SEC. 2.8.5. **PK** PARK

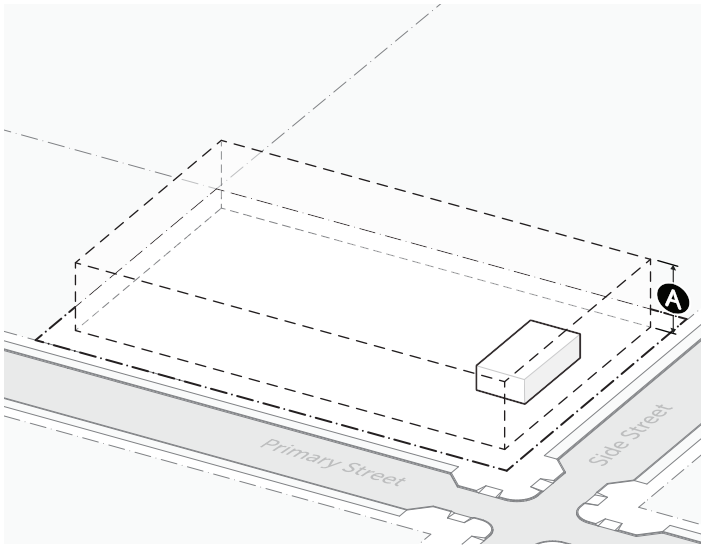
### A. Lot Standards



<b>1. Lot Size</b>	Sec. XX.XX.
<b>A</b> Lot area (min)	None
<b>B</b> Lot width (min)	None
<b>2. Density</b>	Sec. XX.XX.
Dwelling units per lot (max)	Not allowed
<b>3. Coverage</b>	Sec. XX.XX.
<b>C</b> Building coverage (max)	15%
<b>4. Streetscape</b>	Sec. XX.XX.
<b>D</b> Amenity zone	Required
<b>E</b> Pedestrian zone	Required

<b>5. Building Setbacks</b>	Sec. XX.XX.
<b>F</b> Street setback (min)	
Primary / storefront street	10'
Side street	10'
<b>G</b> Side setback (min)	10'
<b>H</b> Rear setback (min)	5'
<b>6. Transition</b>	Sec. XX.XX.
Transition type	Type A or B
<b>7. Parking Location</b>	Sec. XX.XX.
Front yard	Allowed
Side street yard	Allowed
Side / rear yard	Allowed

## B. Building Standards



<b>1. Massing</b>	Sec. XX.XX.
Ⓐ Building height (max)	35'
<b>2. Fences and Walls</b>	Sec. XX.XX.
Front yard	Type A4
Side street yard	Type A4
Side / rear yard	Type C1

## DIVISION 2.9. **ALTERNATE FORMS**

### Sec. 2.9.1. **Intent**

Alternate Forms are intended to provide an option to override some standards in the underlying Form District when the standards would otherwise prohibit a desired development configuration for certain uses. In exchange for greater flexibility on some standards, Alternate Forms may require other, higher standards to ensure the development outcomes are contextually appropriate.

### Sec. 2.9.2. **Applicability**

#### **A. How to Use Alternate Forms**

1. A development may choose to use Alternate Form instead of the underlying standards of the Form District if all the following criteria are met:
  - a. The underlying Form District must be listed as an eligible Form District for that particular Alternate Form;
  - b. The underlying Use District (*Chapter 4*) must allow the eligible use; and
  - c. The lot must contain one of the eligible uses.
2. Alternate Forms do not affect the uses permitted on a lot; all use permissions are established by the Use District as detailed in *Sec. 4.2.2. Consolidated Use Tables*.

#### **B. Relationship to Form Districts**

1. Where a standard is listed in an Alternate Form and the underlying Form District, the standard listed in this Division supersedes the standard listed for the underlying Form District.
2. The underlying Form District standard applies when an Alternate Form:
  - a. Defers to the underlying Form District (for example, "Set by Form District");
  - b. Provides no requirement for a standard listed by the underlying Form District; or
  - c. Does not list a standard that is listed by the underlying Form District.

#### **C. Relationship to Use Districts**

For uses with additional standards listed in *Ch. 4. Uses*, the Use District supersedes any conflicting standard listed in the Alternate Form.

## Sec. 2.9.3. **Corner Store**

### **A. Intent**

Corner Store is intended to accommodate small-scale, neighborhood-serving commercial uses at a scale appropriate for predominately residential settings and encourage the reuse of existing neighborhood commercial buildings. This Alternate Form intends to improve the walkability of residential neighborhoods, provide surrounding residents with amenities within a convenient distance of their homes, and support community-oriented small business development.

### **B. Eligible Form Districts**

When the Use District allows an eligible use, and the lot contains an eligible use, Corner Store is allowed in the following Form Districts:

1. Neighborhood-Scale (N-); and
2. Urban General (UG-).

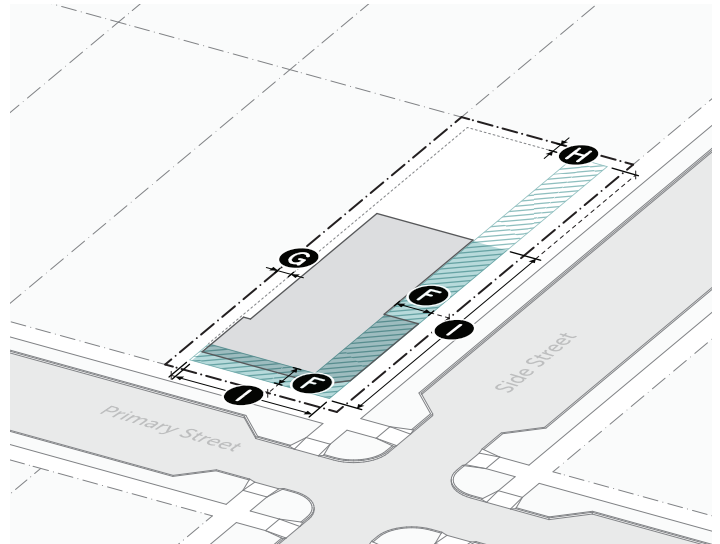
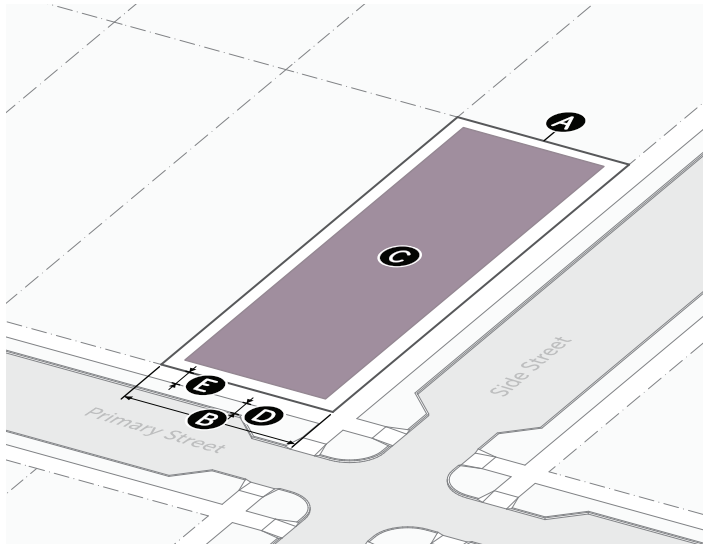
### **C. Eligible Uses**

When the lot is in an eligible Form District and the use is allowed by the Use District, Corner Store is allowed for the following uses:

1. Live-work;
2. General food and beverage;
3. Bakery, wholesale;
4. Bar;
5. Catering establishment;
6. General medical;
7. General office;
8. Sound recording studio;
9. General personal service;
10. Hair or nail salon;
11. Laundry service;
12. General retail;
13. Artisan workshop;
14. Grocery store; and
15. Small discount variety store.

# CORNER STORE

## D. Lot Standards

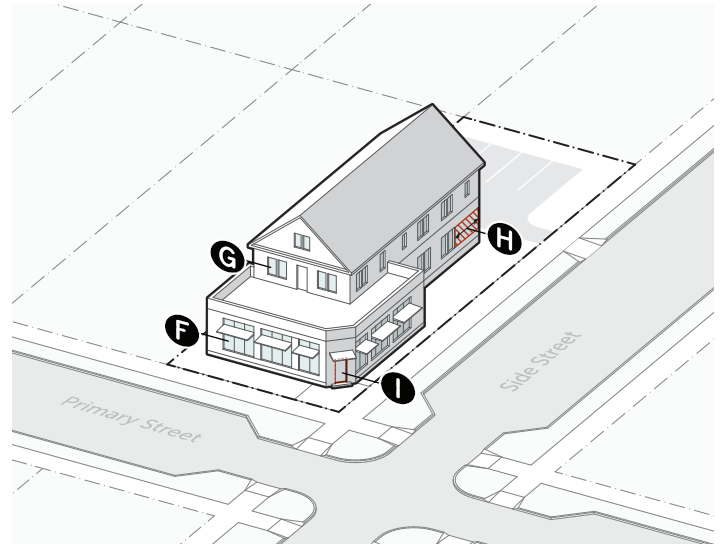
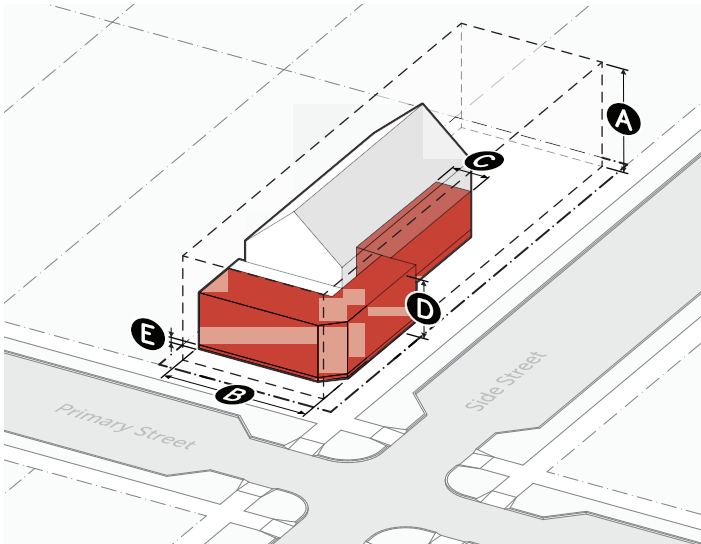


<b>1. Lot Size</b>	Sec. XX.XX.
<b>A</b> Lot area (min)	Set by Form District
<b>B</b> Lot width (min)	Set by Form District
<b>2. Density</b>	Sec. XX.XX.
Dwelling units per lot (max)	Set by Form District
<b>3. Coverage</b>	Sec. XX.XX.
<b>C</b> Building coverage (max)	Set by Form District
<b>4. Streetscape</b>	Sec. XX.XX.
<b>D</b> Amenity zone	Required
<b>E</b> Pedestrian zone	Required

<b>5. Building Setbacks</b>	Sec. XX.XX.
<b>F</b> Street setback (min/max)	
Primary / storefront street	5' / 15'
Side street	5' / 15'
<b>G</b> Side setback (min)	4'
<b>H</b> Rear setback (min)	4'
<b>6. Build-To</b>	Sec. XX.XX.
<b>I</b> Build-to width (min)	
Primary / storefront street	80%
Side street	60%
<b>7. Parking Location</b>	Sec. XX.XX.
No parking allowed between building and street	

# CORNER STORE

## E. Building Standards



1. Massing	Sec. XX.XX.
Ⓐ Building height (max stories/feet)	2.5 stories / 35'
Ⓑ Building width (max)	
Primary / storefront street	40'
Side street	70'
2. Massing	Sec. XX.XX.
Ⓒ Active depth (feet)	
Primary / storefront street	15'
Side street	15'
3. Ground Story	Sec. XX.XX.
Ⓓ Ground story height (min)	14'
Ⓔ Ground story elevation (min/max)	-2' / 4'

4. Windows and Doors	Sec. XX.XX.
Ⓕ Ground story glazing (min)	
Primary / storefront street	50%
Side street	25%
Ⓖ Upper story glazing (min)	20%
Ⓗ Blank wall width (max)	
Primary / storefront street	10'
Side street	20'
Ⓖ Street-facing entry	Required
5. Fences and Walls	Sec. XX.XX.
Front yard	Type A1
Side street yard	Type A1
Side / rear yard	Type C1

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## Sec. 2.9.4. **Civic Institution**

### **A. Intent**

Civic Institution is intended to promote placemaking through architectural monuments and publicly accessible civic spaces. This Alternate Form allows greater design flexibility for civic institutions to differentiate civic assets from the surrounding built environment.

### **B. Eligible Form Districts**

When the Use District allows an eligible use, and the lot contains an eligible use, Civic Institution is allowed in the following Form Districts:

1. House-Scale (H-)
2. Neighborhood-Scale (N-);
3. Urban General (UG-);
4. Urban Core (UC-);
5. Workplace Flex (WX-); and
6. Workplace (W-).

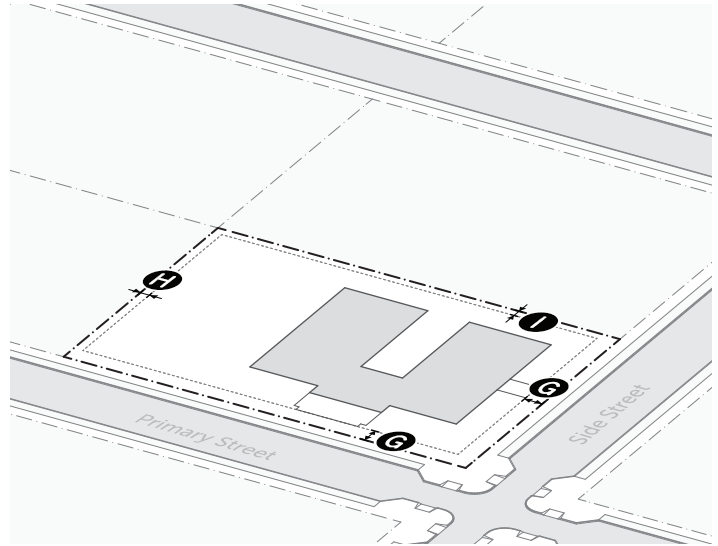
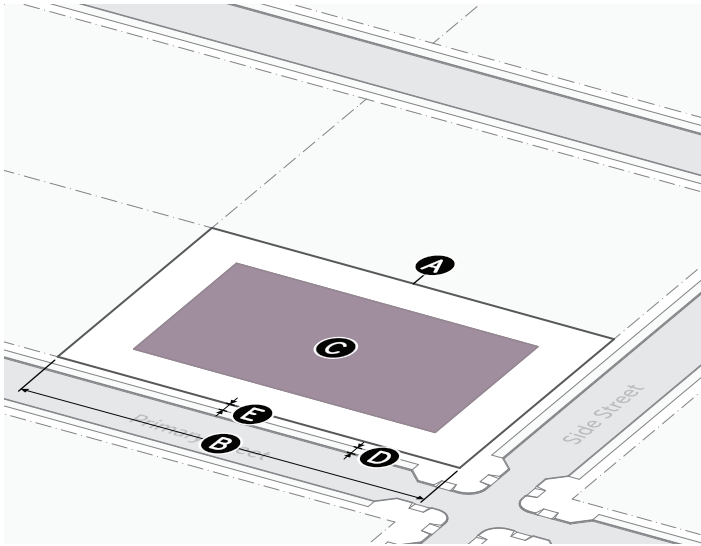
### **C. Eligible Uses**

When the lot is in an eligible Form District and the use is allowed by the Use District, Civic Institution is allowed for the following uses:

1. General civic;
2. Community center, private;
3. Library or museum, private;
4. Religious assembly;
5. General private education; and
6. College or university, private.

# CIVIC INSTITUTION

## D. Lot Standards

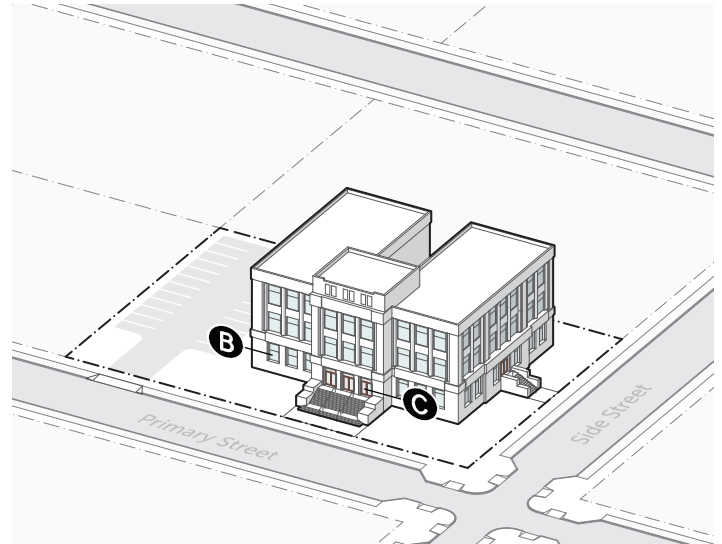
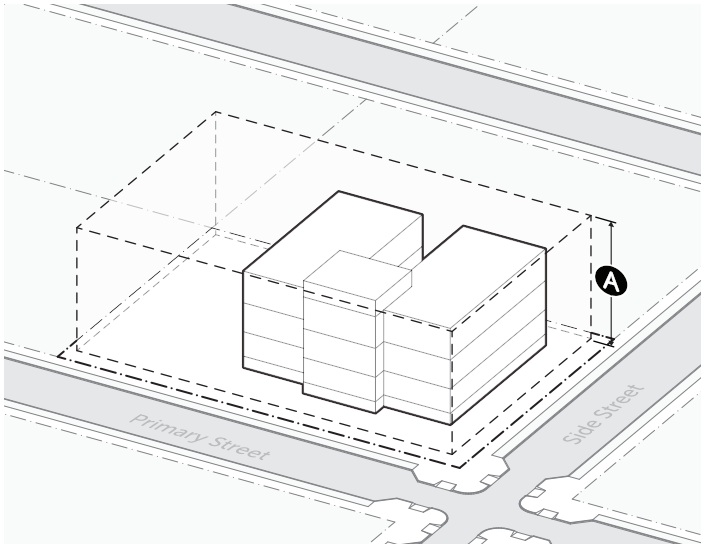


<b>1. Lot Size</b>	Sec. XX.XX.
<b>A</b> Lot area (min)	Set by Form District
<b>B</b> Lot width (min)	Set by Form District
<b>2. Density</b>	Sec. XX.XX.
Dwelling units per lot (max)	Set by Form District
<b>3. Coverage</b>	Sec. XX.XX.
<b>C</b> Building coverage (max)	Set by Form District
<b>4. Streetscape</b>	Sec. XX.XX.
<b>D</b> Amenity zone	Required
<b>E</b> Pedestrian zone	Required

<b>5. Building Setbacks</b>	Sec. XX.XX.
<b>F</b> Street setback (min)	
Primary / storefront street	10'
Side street	10'
<b>G</b> Side setback (min)	5'
<b>H</b> Rear setback (min)	5'
<b>6. Parking Location</b>	Sec. XX.XX.
Front yard	Not allowed
Side street yard	Allowed
Side / rear yard	Allowed

# CIVIC INSTITUTION

## E. Building Standards



1. Massing	Sec. XX.XX.
<b>A</b> Building height (max)	Set by Form District
Building width (max)	None

2. Windows and Doors	Sec. XX.XX.
<b>B</b> Ground story glazing (min)	20%
Upper story glazing (min)	None
Blank wall width (max)	None
<b>C</b> Street-facing entry	Required

3. Fences and Walls	Sec. XX.XX.
Front yard	Type A4
Side street yard	Type A4
Side / rear yard	Type C1

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## Sec. 2.9.5. **Park**

### **A. Intent**

Park is intended to allow greater flexibility for parks, open space, and utility uses, as well as land-based uses such as urban agriculture and gardening.

### **B. Eligible Form Districts**

When the Use District allows an eligible use, and the lot contains an eligible use, Civic Institution is allowed in the following Form Districts:

1. House-Scale (H-)
2. Neighborhood-Scale (N-);
3. Urban General (UG-);
4. Urban Core (UC-);
5. Workplace Flex (WX-); and
6. Workplace (W-).

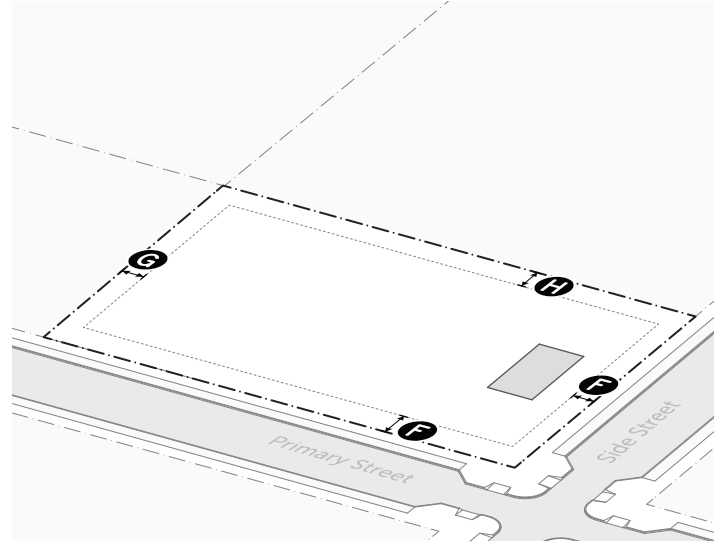
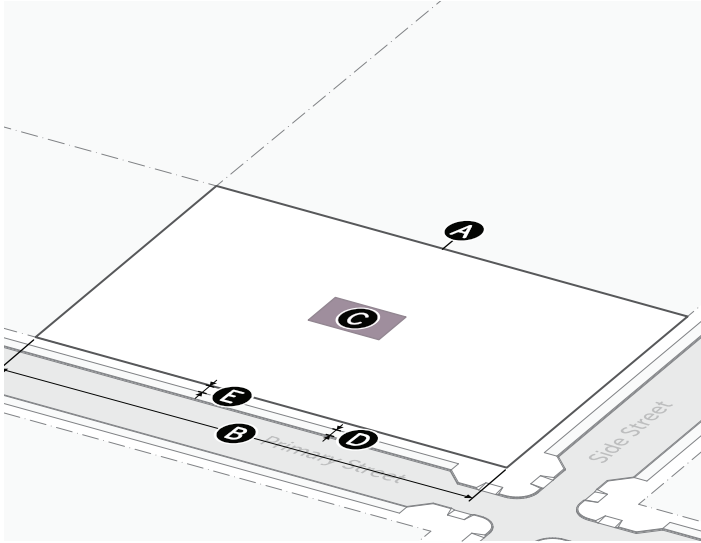
### **C. Eligible Uses**

When the lot is in an eligible Form District and the use is allowed by the Use District, Civic Institution is allowed for the following uses:

1. General parks and open space; and
2. Cemetery.

# PARK

## D. Lot Standards

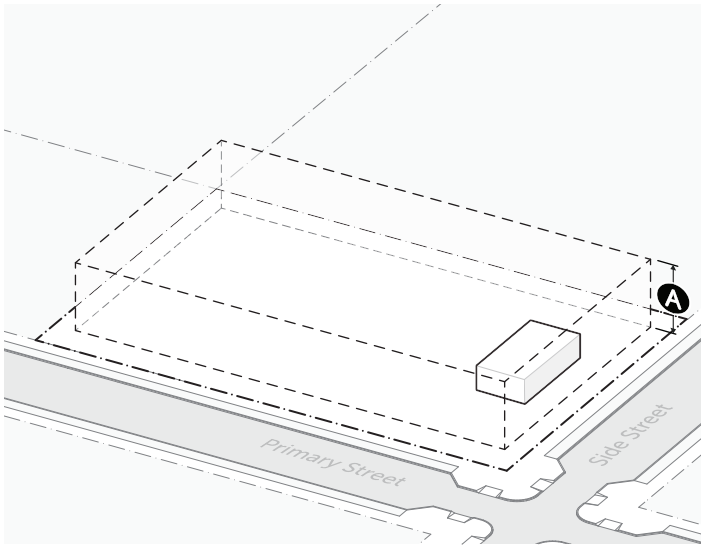


<b>1. Lot Size</b>	<i>Sec. XX.XX.</i>
<b>A</b> Lot area (min)	Set by Form District
<b>B</b> Lot width (min)	Set by Form District
<b>2. Density</b>	<i>Sec. XX.XX.</i>
Dwelling units per lot (max)	Set by Form District
<b>3. Coverage</b>	<i>Sec. XX.XX.</i>
<b>C</b> Building coverage (max)	15%
<b>4. Streetscape</b>	<i>Sec. XX.XX.</i>
<b>D</b> Amenity zone	Required
<b>E</b> Pedestrian zone	Required

<b>5. Building Setbacks</b>	<i>Sec. XX.XX.</i>
<b>F</b> Street setback (min)	
Primary / storefront street	10'
Side street	10'
<b>G</b> Side setback (min)	10'
<b>H</b> Rear setback (min)	5'
<b>6. Parking Location</b>	<i>Sec. XX.XX.</i>
Front yard	Allowed
Side street yard	Allowed
Side / rear yard	Allowed

# PARK

## A. Building Standards



<b>1. Massing</b>	Sec. XX.XX.
Ⓐ Building height (max)	35'
Building width (max)	None
<b>2. Fences and Walls</b>	Sec. XX.XX.
Front yard	Type A4
Side street yard	Type A4
Side / rear yard	Type C1